

Leslie Lechner-Salemi
Chair

James Ensign
Vice-Chair

Commissioners

Eric Hufnagel, Mayor
Jean Ruestman, Vice Mayor
Heather Hanover
Mark Holden
Melvin Renfrow
Wendy Ward
Eric Harger

Dave J. Kudwa, P.E.
Community
Development Director



**CITY OF ST. JOHNS
PLANNING COMMISSION**

MEETING AGENDA

MEETING DATE: DECEMBER 8th, 2021

The St. Johns Planning Commission will hold a regular meeting on December 8th, 2021 at 5:30 pm in the 2nd Floor Commissioner Chambers located at the Clinton County Courthouse, 100 E. State Street, St. Johns, MI. (Please use Cass St. Entrance.)

AGENDA

1. **Call to Order (5:30 pm)**
2. **Approval of Agenda (5:30 pm – 5:32 pm)**
3. **Public Comment for Agenda / Non-Agenda Items (5:32 pm – 5:34 pm)**
4. **Old Business**
 - A. **October 13th, 2021 meeting minutes review**
(5:34 pm – 5:35 pm) (ACTION ITEM)
5. **New Business**
 - A. **Site plan review – 215 N. Scott Road (Clinton Area Transit System)**
(Presenter: City staff)
(5:35 pm – 5:55 pm) (ACTION ITEM)
 - B. **2021 Planning & Zoning annual report**
(Presenter: City staff)
(5:55 pm – 6:05 pm) (ACTION ITEM)
6. **Planning Commissioner Comments (6:05 pm – 6:10 pm)**
7. **Adjournment (6:10 pm)**

Next meeting: January 12th, 2022

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**CITY OF ST. JOHNS
PLANNING COMMISSION**

**OCTOBER 13th, 2021
REGULAR MEETING MINUTES**

1. CALL TO ORDER

The meeting of the St. Johns Planning Commission was called to order by Mrs. Leslie Salemi at 5:30 p.m.

Members Present: Salemi, Ensign, Hufnagel, Ruestman, Hanover, Holden

Staff Present: Dave J. Kudwa, Chris Khorey

Others Present: None

2. APPROVAL OF AGENDA

A. A motion was made by Vice Mayor Ruestman and supported by Commissioner Hanover to approve the agenda as presented.

Yes: Salemi, Ensign, Hufnagel, Ruestman, Hanover, Holden

Nay: None

Motion carried

3. PUBLIC COMMENT ON AGENDA / NON-AGENDA ITEMS

None

4. OLD BUSINESS

A. A motion was made by Commissioner Ensign and supported by Commissioner Holden to approve the September 1st, 2021 meeting minutes as presented.

Yes: Salemi, Ensign, Hufnagel, Ruestman, Hanover, Holden

Nay: None

Motion carried

100 East State Street, P.O. Box 477, St. Johns, Michigan 48879-0477
(989) 224-8944 Fax (989) 224-2204
E-mail: dkudwa@stjohnsmich.com

5. NEW BUSINESS

A. Planning commission representative to the ZBA

A motion was made by Commissioner Ensign and supported by Mayor Hufnagel to recommend that Wendy Ward be designated as the planning commission representative to the ZBA.

Yes: Salemi, Ensign, Hufnagel, Ruestman, Hanover, Holden

Nay: None

Motion carried

B. Short-term rentals

City staff along with Chris Khorey from McKenna & Associates gave a presentation on short-term rentals. The planning commission discussed length of stay, hotels, rental inspections, proposed state legislation, and principal resident exemptions as it relates to the regulation of vacation rentals.

No official action was taken

C. Proposed rental certification program - update

City staff along with Chris Khorey from McKenna & Associates gave an update on the status of the rental inspection program.

No official action was taken

D. Downtown parking plan

The planning commission discussed the need for a comprehensive downtown parking plan. City staff presented that the city commission approved moving forward with public engagement and plan development at their October 11th meeting. The plan needs to be completed by May 1st, 2022.

No official action was taken

6. PLANNING COMMISSIONER COMMENTS

None

7. ADJOURNMENT

A motion was made by Commissioner Holden and supported by Commissioner Hanover to adjourn the meeting at 6:22 pm.

Yes: Salemi, Ensign, Hufnagel, Ruestman, Hanover, Holden

Nay: None

Motion carried

CLINTON AREA TRANSIT SYSTEM

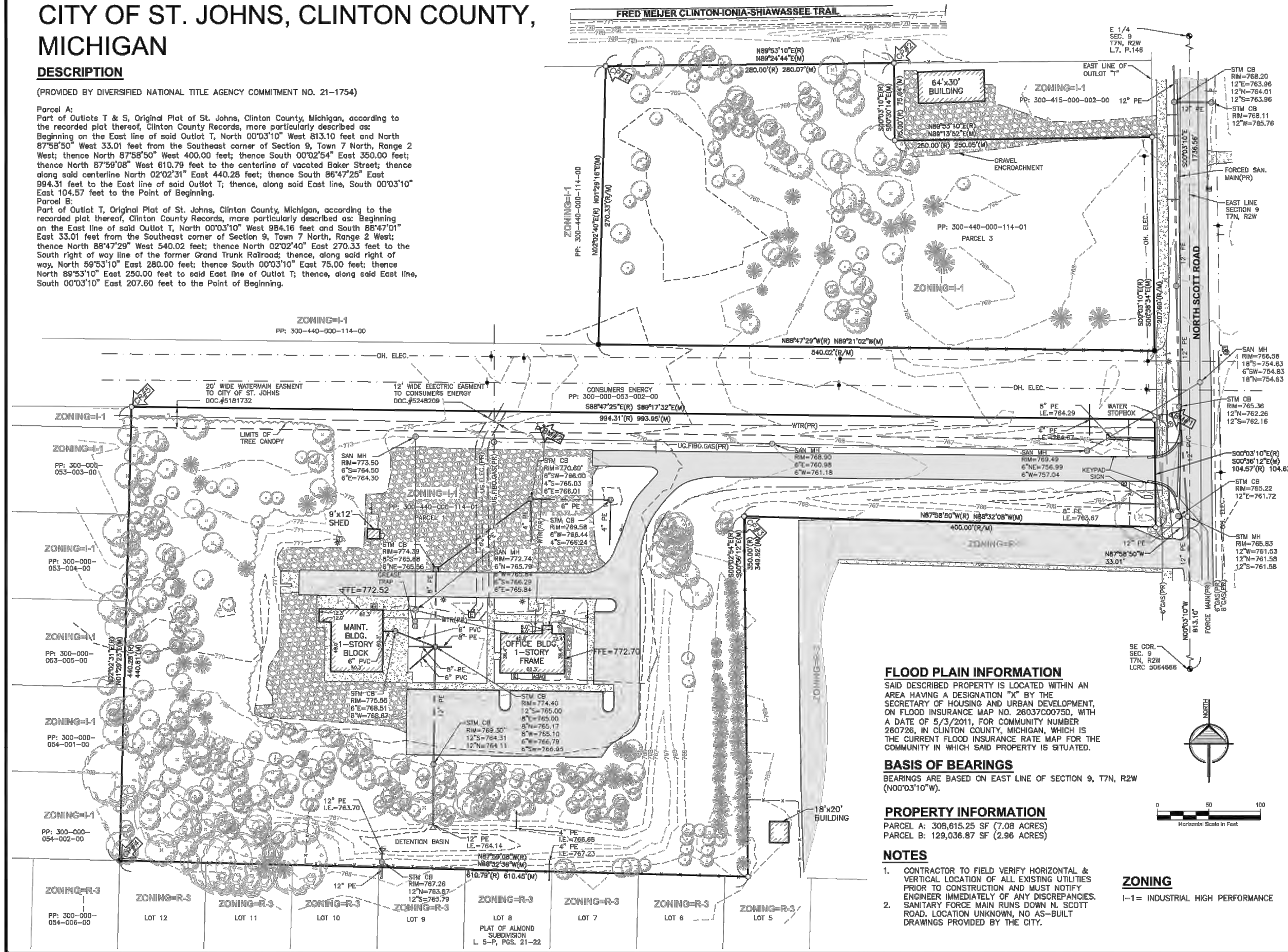
CITY OF ST. JOHNS, CLINTON COUNTY, MICHIGAN

DESCRIPTION

(PROVIDED BY DIVERSIFIED NATIONAL TITLE AGENCY COMMITMENT NO. 21-1754)

Parcel A:
Part of Outlots T & S, Original Plat of St. Johns, Clinton County, Michigan, according to the recorded plat thereof, Clinton County Records, more particularly described as: Beginning on the East line of said Outlot T, North 00°03'10" West 813.10 feet and North 87°58'50" West 33.01 feet from the Southeast corner of Section 9, Town 7 North, Range 2 West; thence North 87°58'50" West 400.00 feet; thence South 00°02'54" East 350.00 feet; thence North 87°59'08" West 610.79 feet to the centerline of vacated Baker Street; thence along said centerline North 02°02'31" East 440.28 feet; thence South 86°47'25" East 994.31 feet to the East line of said Outlot T; thence, along said East line, South 00°03'10" East 104.57 feet to the Point of Beginning.

Parcel B:
Part of Outlot T, Original Plat of St. Johns, Clinton County, Michigan, according to the recorded plat thereof, Clinton County Records, more particularly described as: Beginning on the East line of said Outlot T, North 00°03'10" West 984.16 feet and South 86°47'01" East 33.01 feet from the Southeast corner of Section 9, Town 7 North, Range 2 West; thence North 88°47'29" West 540.02 feet; thence North 02°02'40" East 270.33 feet to the South right of way line of the former Grand Trunk Railroad; thence, along said right of way, North 59°53'10" East 280.00 feet; thence South 00°03'10" East 75.00 feet; thence North 89°53'10" East 250.00 feet to said East line of Outlot T; thence, along said East line, South 00°03'10" East 207.60 feet to the Point of Beginning.



LEGEND

▲ - TRAVERSE POINT	○ - FIRE HYDRANT
△ - WELL	○ - WATER VALVE
⊖ - HIGHWAY	⊖ - ELECTRIC TRANSFORMER
● - MONUMENT	⊖ - GAS METER
○ - FOUND IRON STAKE	⊖ - WATER METER
● - SET IRON STAKE	⊖ - TELEPHONE RISER
⊖ - SIGN	⊖ - ELECTRIC METER
⊖ - RR SIGN	⊖ - CATCH BASIN
⊖ - GUY POLE	⊖ - ROUND CATCH BASIN
⊖ - GUY ANCHOR	⊖ - UTILITY MANHOLE
⊖ - UTILITY POLE	⊖ - STM MANHOLE
⊖ - LIGHT POLE	⊖ - SANITARY MANHOLE
⊖ - POST	⊖ - ELECTRIC MANHOLE
⊖ - SOIL BORING	⊖ - TELEPHONE MANHOLE
⊖ - U.G. UTILITY MARKER	⊖ - SHRUB
⊖ - MAILBOX	⊖ - DECIDUOUS TREE
⊖ - AC UNIT	⊖ - CONIFEROUS TREE

--- WATER UTILITY LINE
--- TELEPHONE UTILITY LINE
--- ELECTRIC UTILITY LINE
--- GAS UTILITY LINE
--- STEAM UTILITY LINE
--- STM UTILITY LINE
--- SANITARY UTILITY LINE
--- FIBER OPTIC UTILITY LINE
--- OVERHEAD UTILITY LINE
--- LAKE LINE
--- EXISTING CONTOUR

SITE CONTROL

CP#1(FIP)	N-548462.3260	E-13075702.0100
CP#2(IRON PIPE)	N-548465.1990	E-13075982.0700
CP#3(FIP TRINITY)	N-548024.7690	E-13075836.4200
CP#4(MON)	N-547690.7850	E-13075229.8500
CP#5(FIP)	N-548131.4450	E-13075241.3100

BENCHMARK INFORMATION

BM#1) ELEVATION: 767.19
N FLANGE BOLT UNDER "E" ON THE HYDRANT NORTH OF THE DRIVE ALONG N. SCOTT ROAD
BM#2) ELEVATION: 771.41
NE FLANGE BOLT UNDER "E" ON THE HYDRANT ALONG THE NORTHERN PERIMETER OF THE PARCEL
THE ELEVATIONS ARE BASED ON NAVD 88

FLOOD PLAIN INFORMATION

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A DESIGNATION "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE MAP NO. 2603700075D, WITH A DATE OF 5/3/2011, FOR COMMUNITY NUMBER 260726, IN CLINTON COUNTY, MICHIGAN, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

BASIS OF BEARINGS

BEARINGS ARE BASED ON EAST LINE OF SECTION 9, T7N, R2W (N00°03'10"W).

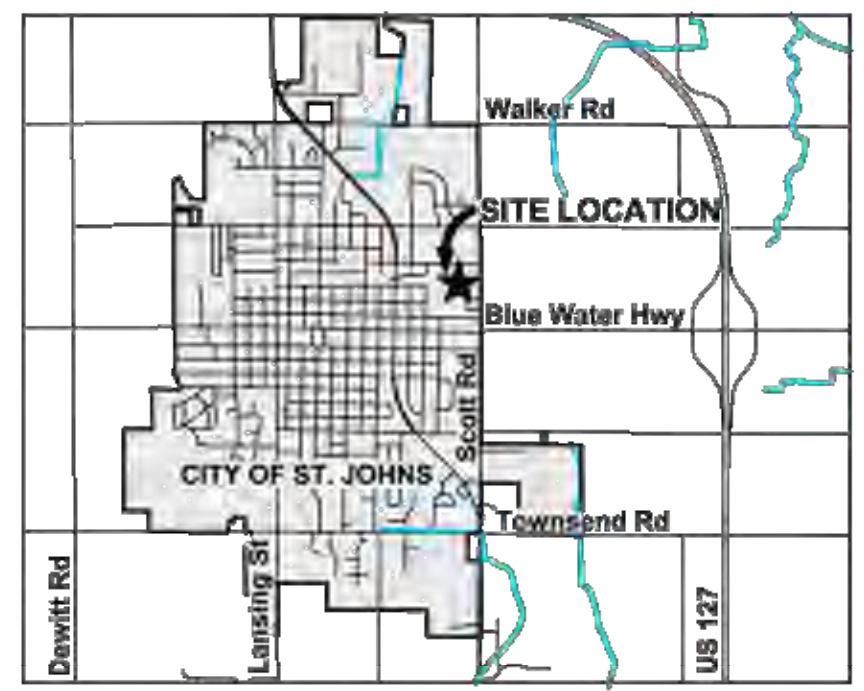
PROPERTY INFORMATION

PARCEL A: 308,615.25 SF (7.08 ACRES)
PARCEL B: 129,036.87 SF (2.96 ACRES)

- ### NOTES
- CONTRACTOR TO FIELD VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND MUST NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. SANITARY FORCE MAIN RUNS DOWN N. SCOTT ROAD. LOCATION UNKNOWN, NO AS-BUILT DRAWINGS PROVIDED BY THE CITY.

ZONING

I-1= INDUSTRIAL HIGH PERFORMANCE



VICINITY MAP

NOT TO SCALE

3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG®
1-800-482-7171

ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

2023 MISS DIG, NW
LANSING, MI 48244
PH: 616-277-7888
WWW.MISSDIG.COM

LRE
ENGINEERS & SURVEYORS

DATE	REVISIONS
04/2021	1. CLIENT REVIEW

CLINTON AREA TRANSIT SYSTEM
ST. JOHNS, MI
215 N. SCOTT ROAD
CITY OF ST. JOHNS, CLINTON COUNTY, MICHIGAN

DATE	PROJECT NUMBER
04/2021	21-037

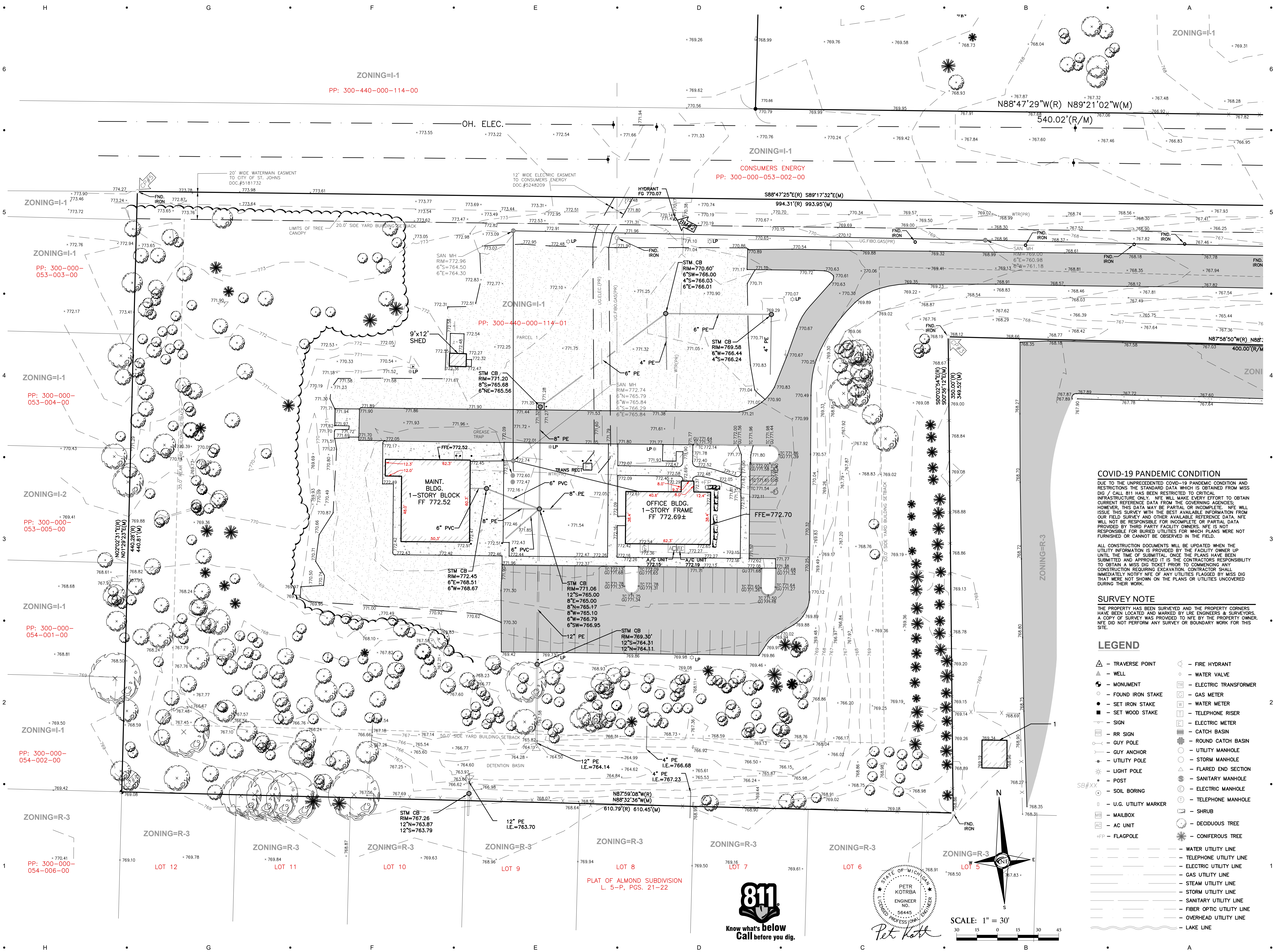
TOPOGRAPHIC & BOUNDARY SURVEY

SHEET NUMBER
C1



SURVEY NOTE

THE PROPERTY HAS BEEN SURVEYED AND THE PROPERTY CORNERS HAVE BEEN LOCATED AND MARKED BY LRE ENGINEERS & SURVEYORS. A COPY OF SURVEY WAS PROVIDED TO ME BY THE PROPERTY OWNER. NFE DID NOT PERFORM ANY SURVEY OR BOUNDARY WORK FOR THIS SITE.



SITE PLAN REVIEW 11-15-2021
 DESIGN DEVELOPMENT 10-29-2021
 SCHEMATIC DESIGN 09-24-2021
 DATE ISSUED
P. Kotrba DRAWN BY
S. Sutton CHECKED BY

HOBBS + BLACK ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P: 734.463.4189
 www.hobbs-black.com

CLINTON AREA
 TRANSIT SYSTEM
 RENOVATION
 ADDITIONS AND
 SITE IMPROVEMENTS
 215 NORTH SCOTT ROAD,
 ST. JOHNS, MICHIGAN 48879

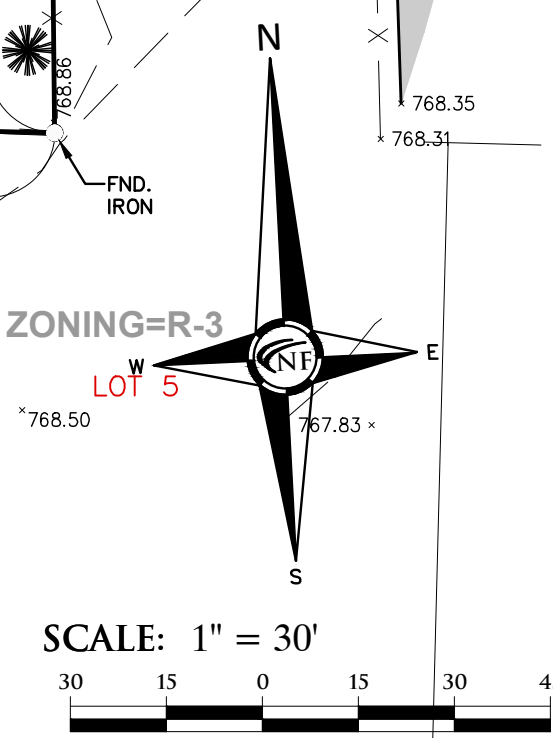
PROJECT
**NF CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS**
NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL: (248) 332-7931
 FAX: (248) 332-8257
 WWW.NOWAKFRAUS.COM
 CONSULTANT

NOT FOR CONSTRUCTION
 PARTIAL TOPOGRAPHIC
 SURVEY
 SHEET TITLE
 PROJECT NUMBER
SP-2
 SHEET NUMBER

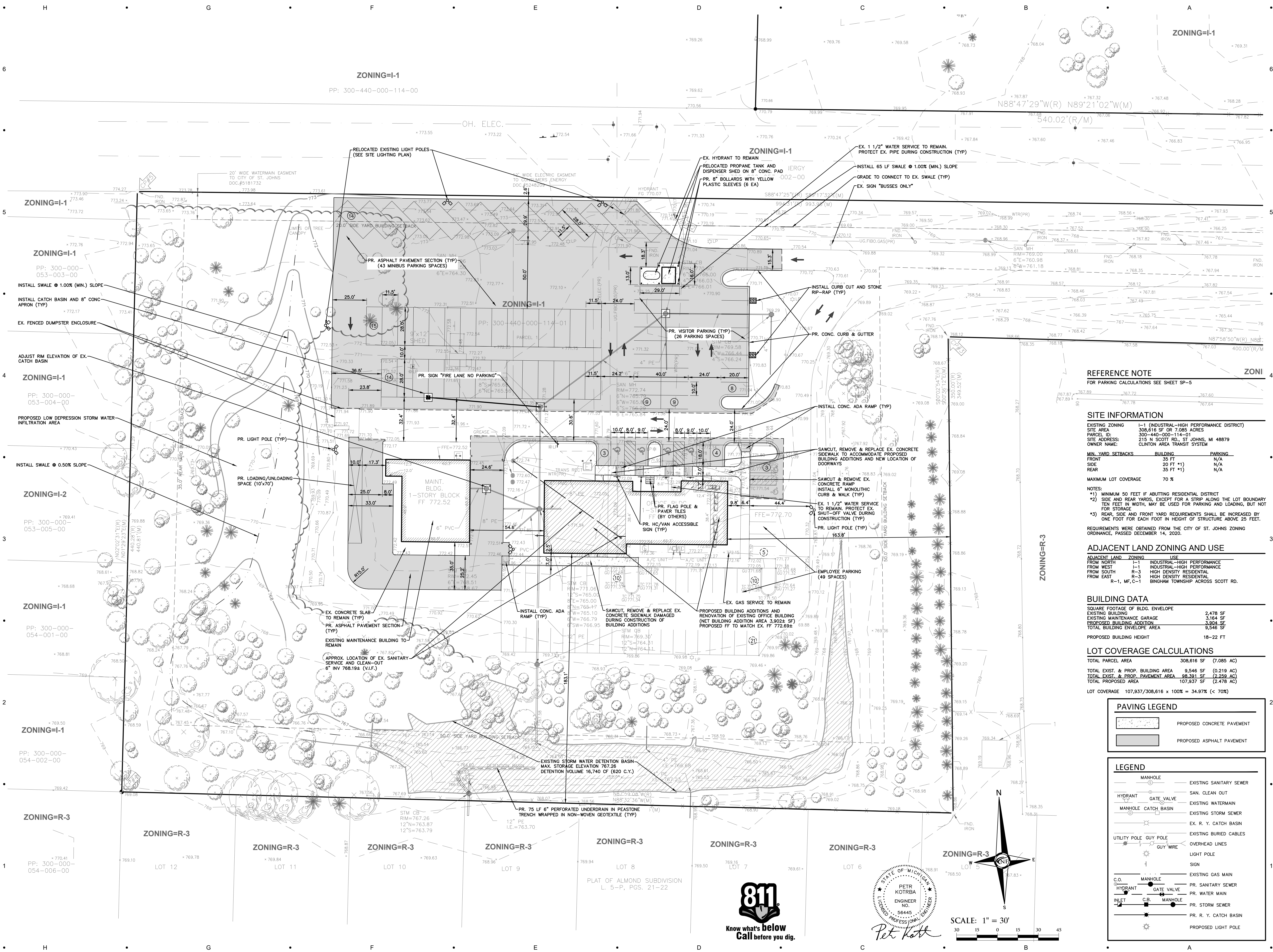
COVID-19 PANDEMIC CONDITION
 DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES; HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

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- LEGEND**
- ▲ - TRAVERSE POINT
 - - FIRE HYDRANT
 - △ - WELL
 - - WATER VALVE
 - - MONUMENT
 - - ELECTRIC TRANSFORMER
 - - FOUND IRON STAKE
 - - GAS METER
 - - SET IRON STAKE
 - - WATER METER
 - - SET WOOD STAKE
 - - TELEPHONE RISER
 - - - SIGN
 - - ELECTRIC METER
 - - RR SIGN
 - - CATCH BASIN
 - - GUY POLE
 - - UTILITY MANHOLE
 - - UTILITY POLE
 - - ROUND CATCH BASIN
 - - UTILITY POLE
 - - STORM MANHOLE
 - - LIGHT POLE
 - - FLARED END SECTION
 - - POST
 - - SANITARY MANHOLE
 - - SOIL BORING
 - - ELECTRIC MANHOLE
 - - U.G. UTILITY MARKER
 - - TELEPHONE MANHOLE
 - - AC UNIT
 - - SHRUB
 - - FLAGPOLE
 - - SHRUB
 - - - WATER UTILITY LINE
 - - - TELEPHONE UTILITY LINE
 - - - ELECTRIC UTILITY LINE
 - - - GAS UTILITY LINE
 - - - WATER UTILITY LINE
 - - - STORM UTILITY LINE
 - - - SANITARY UTILITY LINE
 - - - FIBER OPTIC UTILITY LINE
 - - - OVERHEAD UTILITY LINE
 - - - LAKE LINE



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PARKING NOTE
 FOR PARKING CALCULATIONS SEE SHEET SP-5

SITE INFORMATION

EXISTING ZONING I-1 (INDUSTRIAL-HIGH PERFORMANCE DISTRICT)
 SITE AREA 308,616 SF OR 7.085 ACRES
 PARCEL ID: 300-440-000-114-01
 SITE ADDRESS: 215 N SCOTT RD., ST. JOHNS, MI 48879
 OWNER NAME: CLINTON AREA TRANSIT SYSTEM

MIN. YARD SETBACKS	BUILDING	PARKING
FRONT	35 FT	N/A
SIDE	20 FT (*)	N/A
REAR	35 FT (**)	N/A

MAXIMUM LOT COVERAGE 70 %

NOTES:

- MINIMUM 50 FEET IF ABUTTING RESIDENTIAL DISTRICT
- SIDE AND REAR YARDS, EXCEPT FOR A STRIP ALONG THE LOT BOUNDARY TEN FEET IN WIDTH, MAY BE USED FOR PARKING AND LOADING, BUT NOT FOR STORAGE
- REAR, SIDE AND FRONT YARD REQUIREMENTS SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT IN HEIGHT OF STRUCTURE ABOVE 25 FEET.

REQUIREMENTS WERE OBTAINED FROM THE CITY OF ST. JOHNS ZONING ORDINANCE, PASSED DECEMBER 14, 2020.

ADJACENT LAND ZONING AND USE

ADJACENT LAND ZONING	USE
FROM NORTH	I-1 INDUSTRIAL-HIGH PERFORMANCE
FROM WEST	I-1 INDUSTRIAL-HIGH PERFORMANCE
FROM SOUTH	R-3 HIGH DENSITY RESIDENTIAL
FROM EAST	R-3 HIGH DENSITY RESIDENTIAL

R-1, MF, C-1 BINGHAM TOWNSHIP ACROSS SCOTT RD.

BUILDING DATA

SQUARE FOOTAGE OF BLDG. ENVELOPE	2,478 SF
EXISTING BUILDING	2,478 SF
EXISTING MAINTENANCE GARAGE	3,164 SF
PROPOSED BUILDING ADDITION	3,506 SF
TOTAL BUILDING ENVELOPE AREA	9,546 SF
PROPOSED BUILDING HEIGHT	18-22 FT

LOT COVERAGE CALCULATIONS

TOTAL PARCEL AREA	308,616 SF (7.085 AC)
TOTAL EXIST. & PROP. BUILDING AREA	9,546 SF (0.219 AC)
TOTAL EXIST. & PROP. PAVEMENT AREA	98,291 SF (2.239 AC)
TOTAL PROPOSED AREA	107,837 SF (2.478 AC)
LOT COVERAGE	107,837/308,616 x 100% = 34.97% (< 70%)

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE

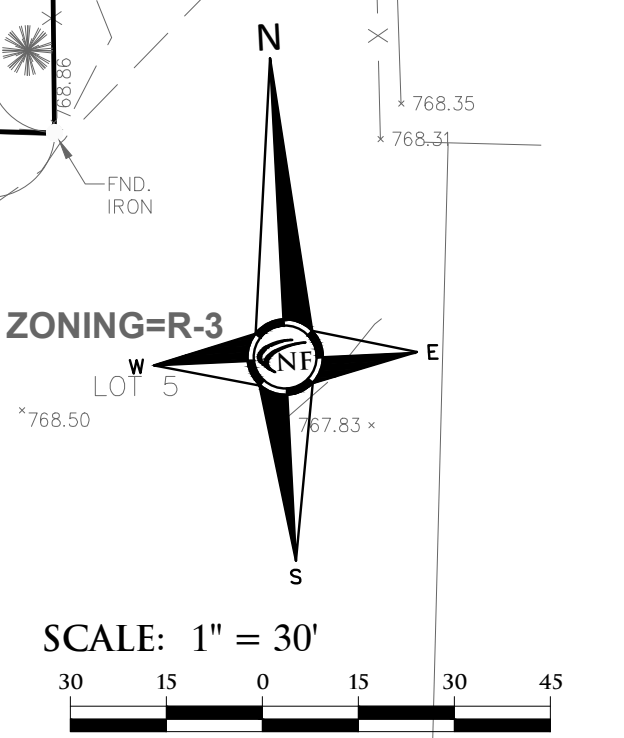
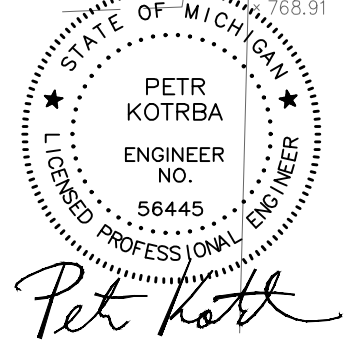
SITE PLAN REVIEW 11-15-2021
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 SCHEMATIC DESIGN 09-24-2021
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 P. Kotrba DRAWN BY
 S. Sutton CHECKED BY

HOBBS + BLACK ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P: 734.463.4189
 www.hobbs-black.com

CLINTON AREA TRANSIT SYSTEM RENOVATION ADDITIONS AND SITE IMPROVEMENTS
 215 NORTH SCOTT ROAD, ST. JOHNS, MICHIGAN 48879

INF CIVIL ENGINEERS LAND SURVEYORS ENGINEERS & PLANNERS
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 WWW.NOWAKFRAUS.COM
 CONSULTANT

NOT FOR CONSTRUCTION
 SHEET TITLE
 PROJECT NUMBER
 SP-3
 SHEET NUMBER



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 WWW.NOWAKFRAUS.COM
 CONSULTANT

NOT FOR CONSTRUCTION
 PAVING & GRADING
 PLAN
 SHEET TITLE
 PROJECT NUMBER
SP-4
 SHEET NUMBER

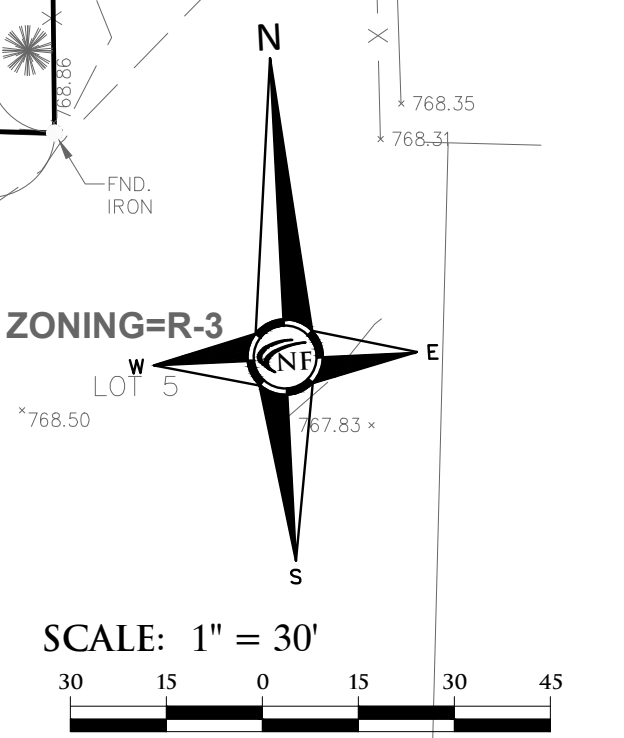
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 ALL CONSTRUCTION DOCUMENTS WILL BE UPDATED WHEN THE UTILITY INFORMATION IS PROVIDED BY THE FACILITY OWNER UP UNTIL THE TIME OF SUBMITTAL. ONCE THE PLANS HAVE BEEN SUBMITTED AND APPROVED IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A MISS DIG TICKET PRIOR TO COMMENCING ANY CONSTRUCTION REQUIRING EXCAVATION. CONTRACTOR SHALL IMMEDIATELY NOTIFY NFE OF ANY UTILITIES FLAGGED BY MISS DIG THAT WERE NOT SHOWN ON THE PLANS OR UTILITIES UNCOVERED DURING THEIR WORK.

PAVING LEGEND

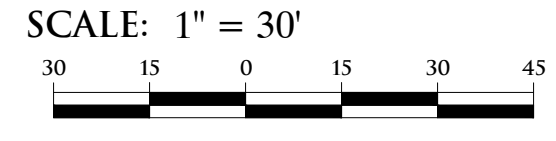
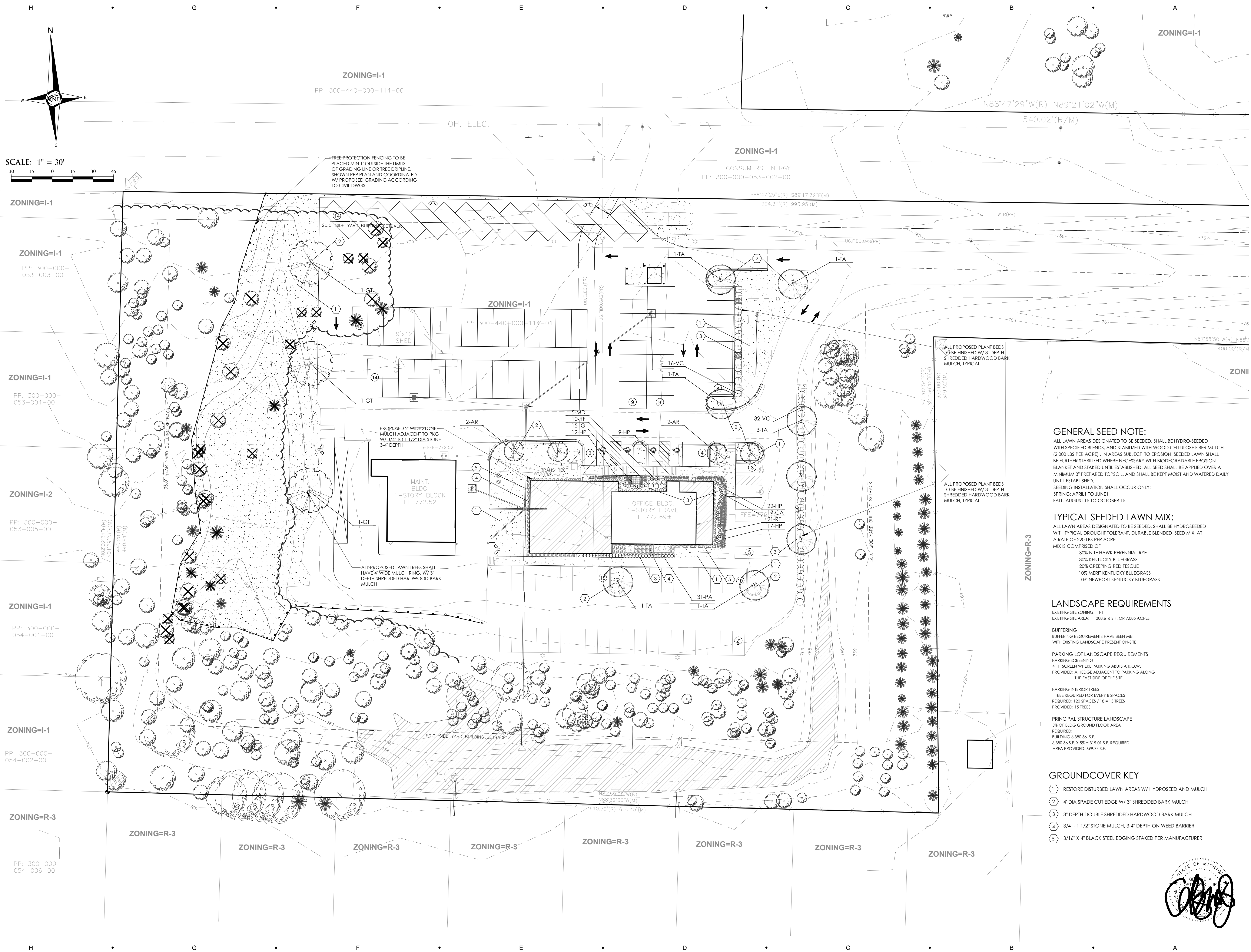
	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY WIRE		EX. R. Y. CATCH BASIN
	LIGHT POLE		EXISTING BURIED CABLES
	SIGN		OVERHEAD LINES
	C.O. MANHOLE		EXISTING GAS MAIN
	HYDRANT		PR. SANITARY SEWER
	INLET		PR. GUTTER ELEVATION
	C.B. MANHOLE		PR. TOP OF WALK ELEVATION
	MANHOLE		PR. TOP OF PVM. ELEVATION
	MANHOLE		FINISH GRADE ELEVATION
	MANHOLE		MATCH EXISTING GRADE



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GENERAL SEED NOTE:
 ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRO-SEEDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDING SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.
 SEEDING INSTALLATION SHALL OCCUR ONLY:
 SPRING: APRIL 1 TO JUNE 1
 FALL: AUGUST 15 TO OCTOBER 15

TYPICAL SEEDED LAWN MIX:
 ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDROSEEDED WITH TYPICAL DROUGHT TOLERANT, DURABLE BLENDED SEED MIX, AT A RATE OF 220 LBS PER ACRE
 MIX IS COMPRIGED OF:
 30% NITE HAWK PERENNIAL RYE
 30% KENTUCKY BLUEGRASS
 20% CREEPING RED FESCUE
 10% MERIT KENTUCKY BLUEGRASS
 10% NEWPORT KENTUCKY BLUEGRASS

LANDSCAPE REQUIREMENTS
 EXISTING SITE ZONING: I-1
 EXISTING SITE AREA: 308,616 S.F. OR 7.085 ACRES

BUFFERING
 BUFFERING REQUIREMENTS HAVE BEEN MET WITH EXISTING LANDSCAPE PRESENT ON-SITE

PARKING LOT LANDSCAPE REQUIREMENTS
 PARKING SCREENING:
 4' HT SCREEN WHERE PARKING ADJUTS A R.O.W.
 PROVIDED: A HEDGE ADJACENT TO PARKING ALONG THE EAST SIDE OF THE SITE

PARKING INTERIOR TREES
 1 TREE REQUIRED FOR EVERY 8 SPACES
 REQUIRED: 120 SPACES / 18 = 15 TREES
 PROVIDED: 15 TREES

PRINCIPAL STRUCTURE LANDSCAPE
 5% OF BLDG GROUND FLOOR AREA
 REQUIRED:
 BUILDING 6,380.34 S.F.
 6,380.34 S.F. X 5% = 319.01 S.F. REQUIRED
 AREA PROVIDED: 699.74 S.F.

- GROUNDCOVER KEY**
- 1 RESTORE DISTURBED LAWN AREAS W/ HYDROSEED AND MULCH
 - 2 4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
 - 3 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
 - 4 3/4" - 1 1/2" STONE MULCH, 3-4" DEPTH ON WEED BARRIER
 - 5 3/16" X 4" BLACK STEEL EDGING STAKED PER MANUFACTURER

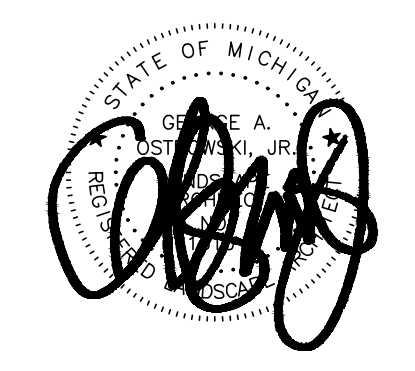
SITE PLAN REVIEW 11-15-2021
 DESIGN DEVELOPMENT 10-29-2021
 SCHEMATIC DESIGN 09-24-2021
 DATE ISSUED
 G. Ostrowski
 DRAWN BY
 G. Ostrowski
 CHECKED BY

HOBBS + BLACK ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P.734.663.4189
 www.hobbs-black.com

CLINTON AREA
 TRANSIT SYSTEM
 RENOVATION
 ADDITIONS AND
 SITE IMPROVEMENTS
 215 NORTH SCOTT ROAD,
 ST. JOHNS, MICHIGAN 48879
 PROJECT

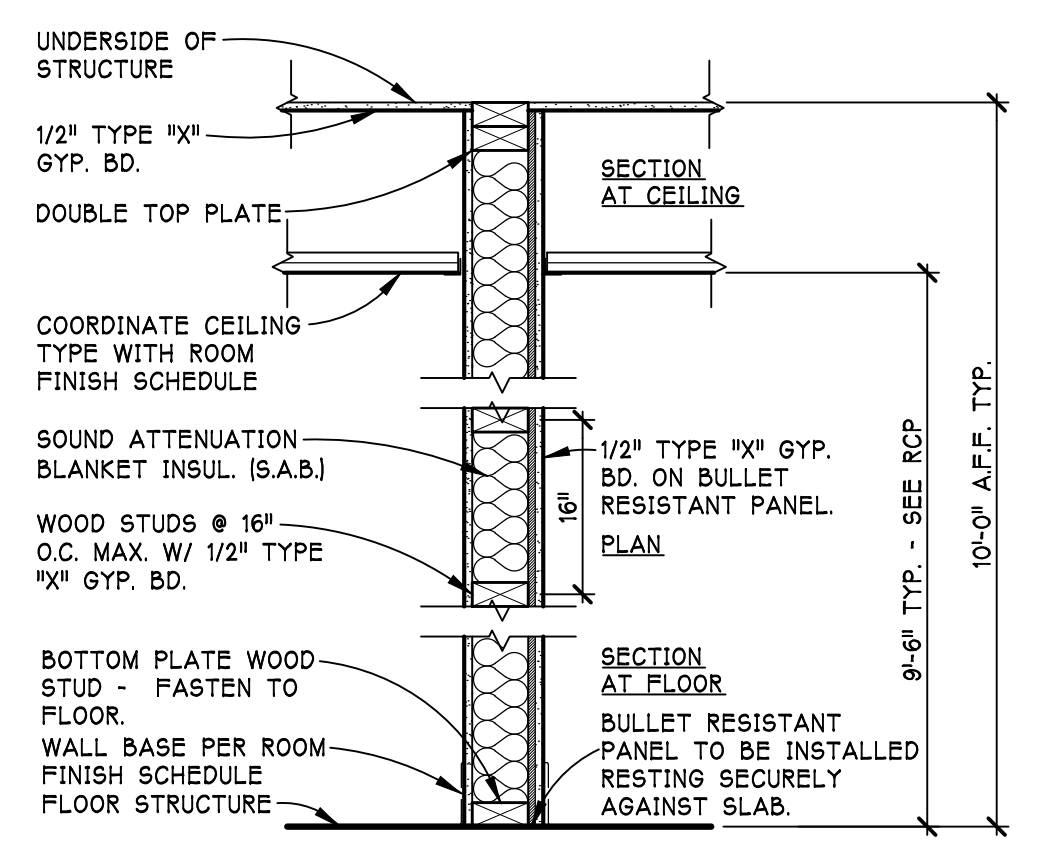
NF CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS
 NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257
 WWW.NOWAKFRAUS.COM
 CONSULTANT

LANDSCAPE PLAN
 SHEET TITLE
 PROJECT NUMBER
 LA-1
 SHEET NUMBER



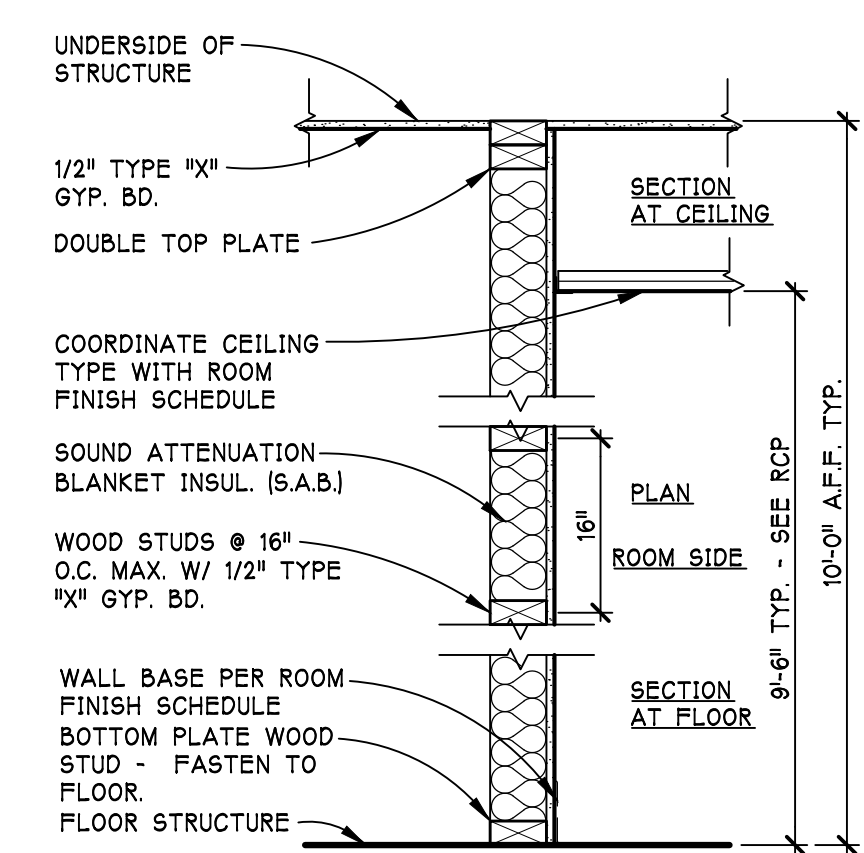
NOT FOR CONSTRUCTION

- PLAN KEYED NOTES**
- 1 USE MANUFACTURER'S DETAILS FOR TYING IN EXISTING MATERIAL TO NEW FOR SAME PRODUCT.
 - 2 MATCH NEW FLOOR HEIGHT WITH EXISTING FLOOR.
 - 3 INFILL EXISTING OPENING IN WALL TO MATCH EXISTING ADJACENT CONDITIONS.
 - 4 PAINT EXISTING WINDOW SILL
 - 5 STAIN NEW WINDOW SILL TO MATCH DOORS



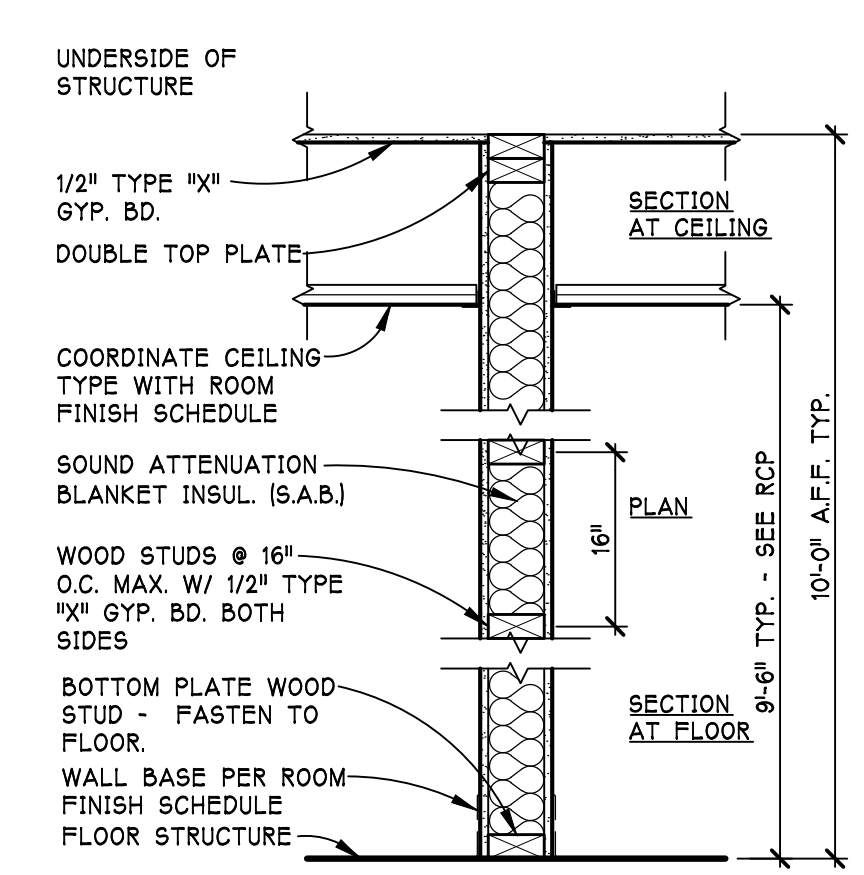
TYPE 3: - FULL HEIGHT BULLET RESISTANT PARTITION
 SCALE - 1 1/2" = 1'-0"

- 3 1/2" WOOD. STUDS
- 5 1/2" WOOD. STUDS



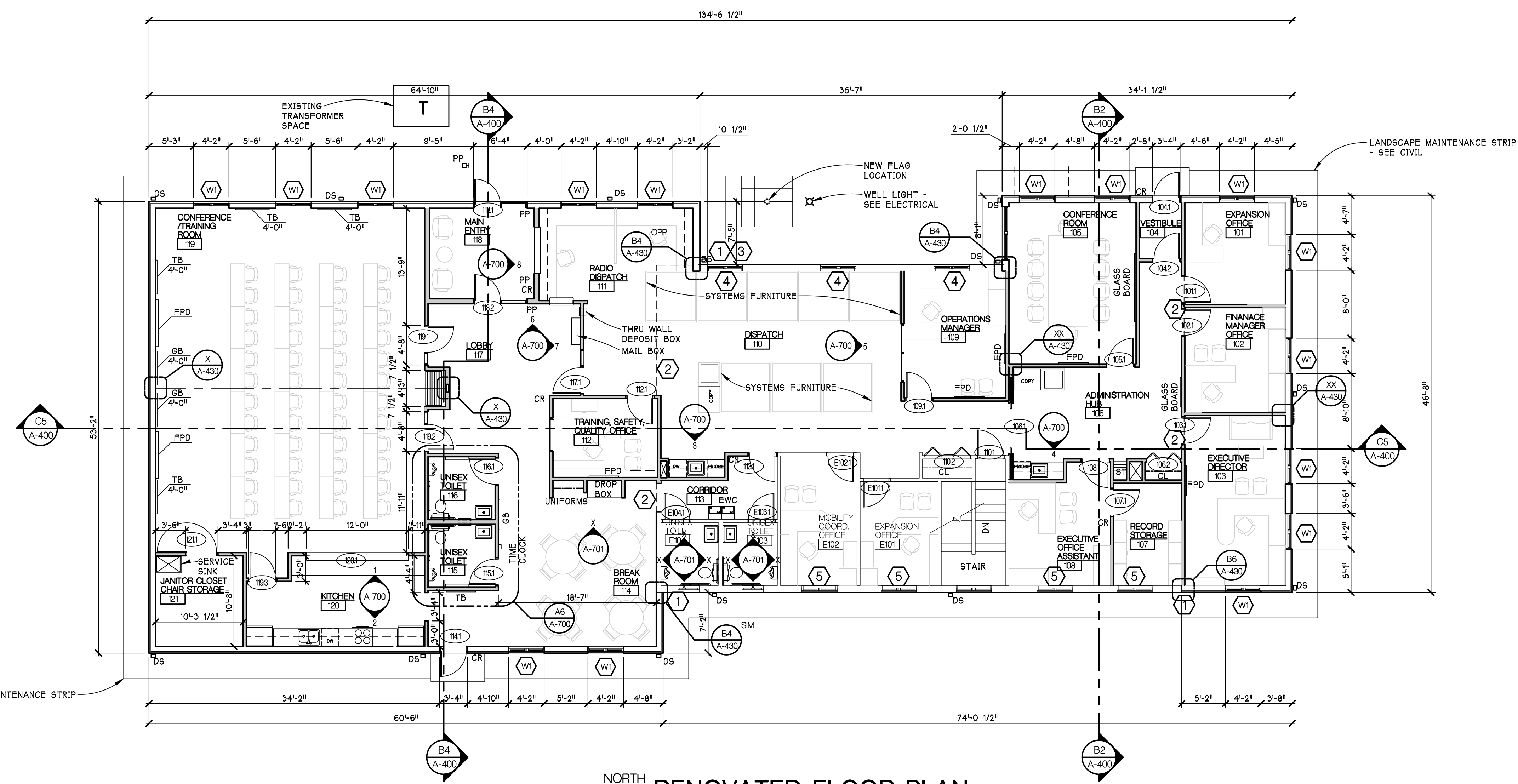
TYPE 2: - FULL HEIGHT ACOUSTIC PARTITION
 SCALE - 1 1/2" = 1'-0"

- 3 1/2" WOOD. STUDS
- 5 1/2" WOOD. STUDS



TYPE 1: - FULL HEIGHT ACOUSTIC PARTITION
 SCALE - 1 1/2" = 1'-0"

- 3 1/2" WOOD. STUDS
- 5 1/2" WOOD. STUDS



RENOVATED FLOOR PLAN
 SCALE - 1/8" = 1'-0"

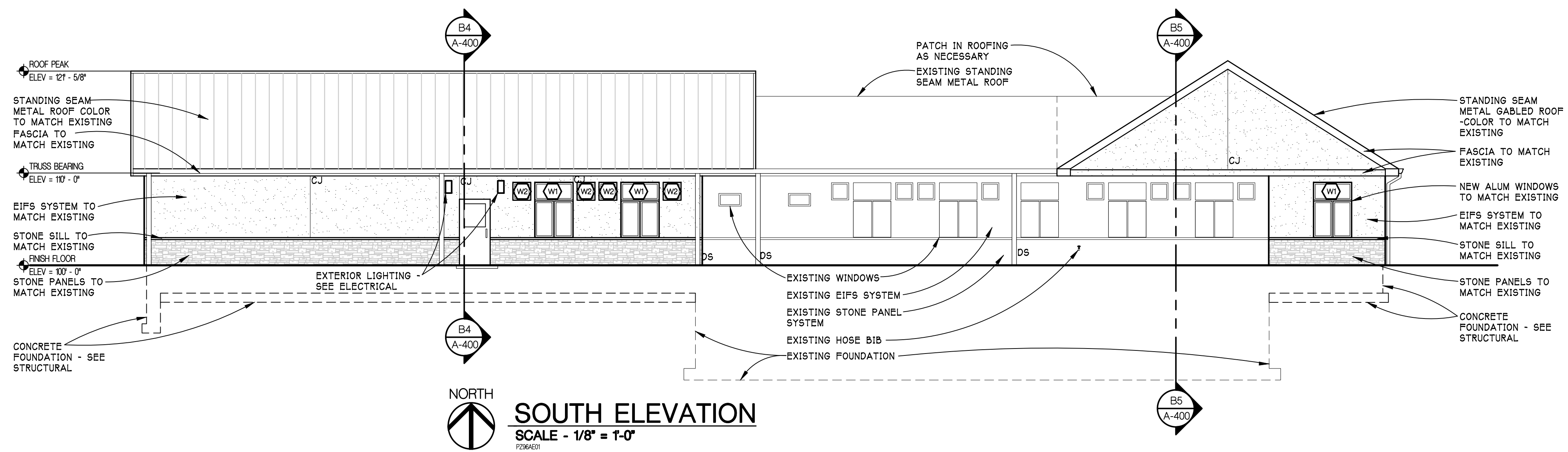
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SITE PLAN APPROVAL 11/15/2021
 DATE ISSUED
 CP
 DRAWN BY
 JM
 CHECKED BY

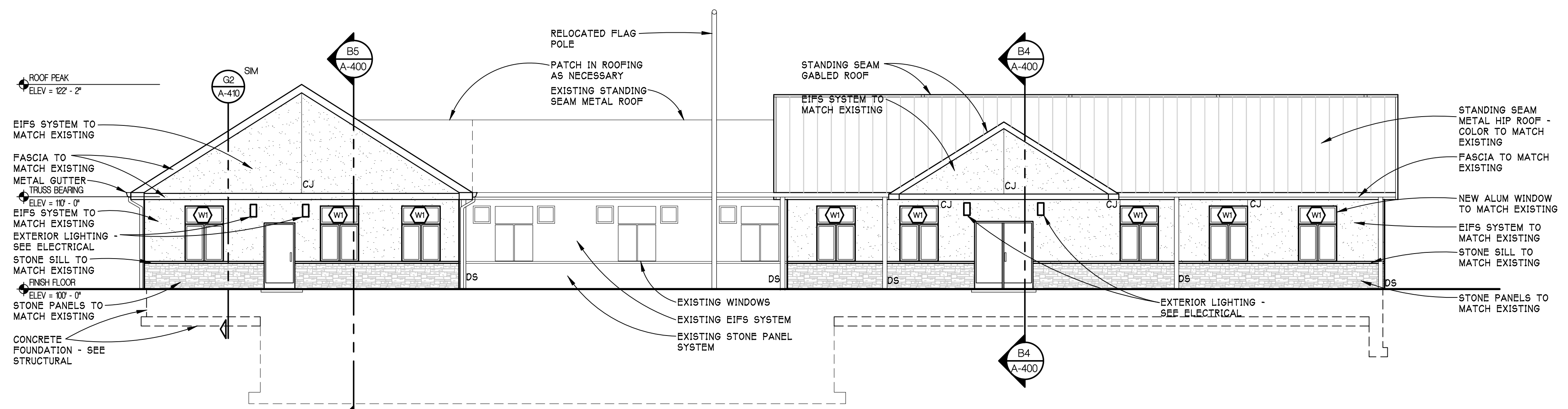
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CLINTON AREA TRANSIT SYSTEM RENOVATION AND ADDITIONS AND SITE IMPROVEMENTS
 215 NORTH SCOTT ROAD,
 ST. JOHNS, MICHIGAN 48879

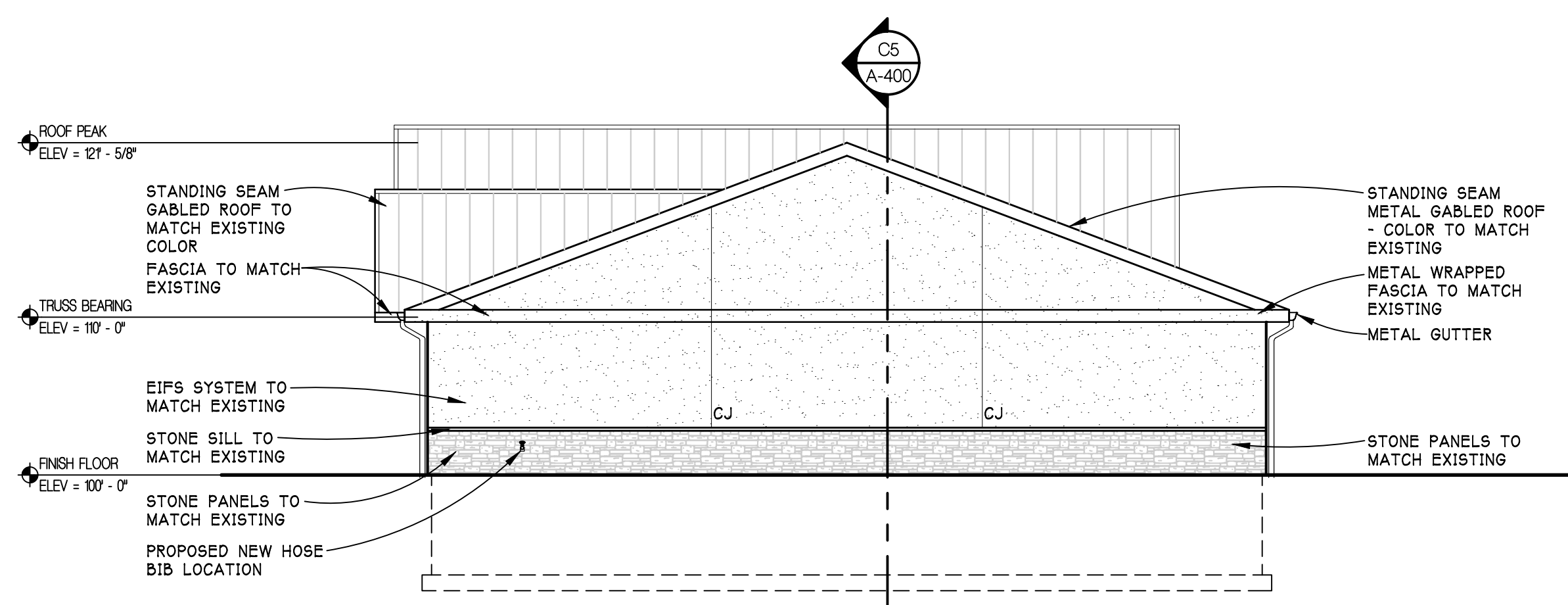
PROJECT
 CONSULTANT
RENOVATED FLOOR PLAN
 SHEET TITLE
21-318
 PROJECT NUMBER
A-101
 SHEET NUMBER



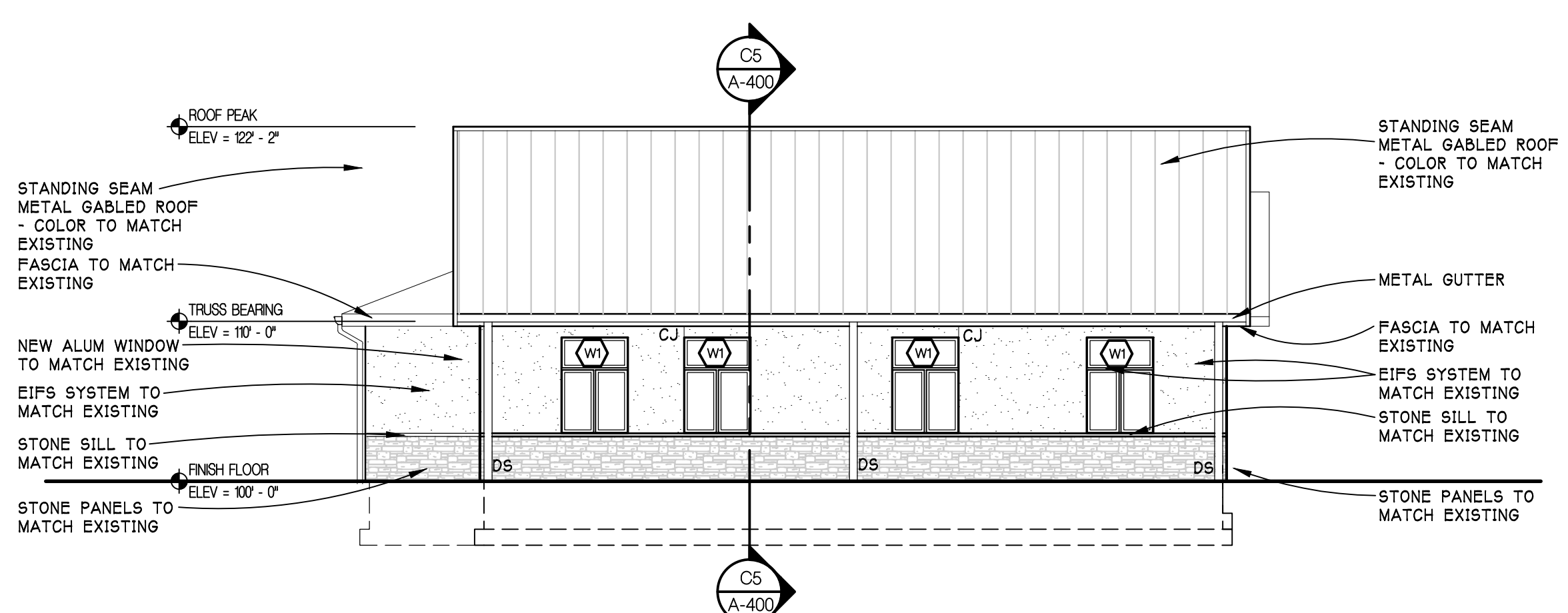
SOUTH ELEVATION
 SCALE - 1/8" = 1'-0"
 P206A01



NORTH ELEVATION
 SCALE - 1/8" = 1'-0"
 P206A01



WEST ELEVATION
 SCALE - 1/8" = 1'-0"
 P206A01



EAST ELEVATION
 SCALE - 1/8" = 1'-0"
 P206A01

SITE PLAN APPROVAL 11/15/2021
 DATE ISSUED
 CP
 DRAWN BY
 JM
 CHECKED BY

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CLINTON AREA
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 RENOVATION AND
 ADDITIONS AND
 SITE IMPROVEMENTS
 215 NORTH SCOTT ROAD,
 ST. JOHNS, MICHIGAN 48879

PROJECT

CONSULTANT

EXTERIOR ELEVATIONS

SHEET TITLE

21-318

PROJECT NUMBER

A-300

SHEET NUMBER

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 Date: Nov 09, 2021, 2:38pm
 Layout: A-300
 Plotted by: cpower

X34-150LSF/U

RAB



General purpose lighting that's pocket friendly.
 Color: Bronze Weight: 10.8 lbs

Project: _____ Type: _____
 Prepared By: _____ Date: _____

Driver Info		LED Info	
Type	Constant Current	Watts	130W
120V	1.1A	Color Temp	5000K (Cool)
208V	0.6A	Color Accuracy	83 CRI
240V	0.6A	L70 Lifespan	50,000 Hours
277V	0.5A	Lumens	16,651
Input Watts	131.1W	Efficacy	127 lm/W

Technical Specifications

Compliance
 UL Listed: Suitable for wet locations. Suitable for ground mounting.
 IESNA LM-79 & LM-80 Testing: RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.
 DLC Listed: This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Code: P4B06AP4
 Electrical: Driver: Constant Current, 120-277V, 50/60 Hz, 1.20V: 1.1A, 208V: 0.6A, 240V: 0.6A, 277V: 0.5A
 Dimming Driver: Driver includes wiring for 0-10V dimming systems. Dim as low as 10%.

THD: 5.2% at 120V, 12.9% at 277V
Power Factor: 99.7% at 120V, 98.2% at 277V
Note: All values are typical (tolerance +/- 10%)
Optical
 NEMA Type: NEMA Beam Spread of 7H x 7V
LED Characteristics
 LEDs: Long-life, high-efficiency, surface-mount LEDs

Color Uniformity: RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.
Construction
 IP Rating: Ingress protection rating of IP65 for dust and water
 EPA: 1.2
Cold Weather Starting: Minimum starting temperature is -40°C (-40°F)

Need help? Tech help line: (888) 722-1000 Email: custserv@rablighting.com Website: www.rablighting.com
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X34-150LSF/U

RAB

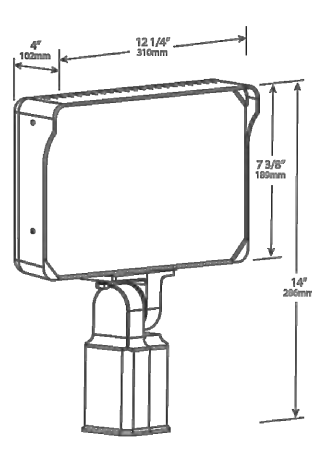
Technical Specifications (continued)

Construction
 Maximum Ambient Temperature: Suitable for use in up to 40°C (104°F)
 Housing: Precision die-cast aluminum
 Mounting: Slipfitter with tilt angle in 10° increments
 Lens: Tempered glass

Finish: Formulated for high durability and long-lasting color
Green Technology: Mercury and UV free. RoHS-compliant components.
Tilt Increment: Rotates in 6 degree increments
Performance
 Lifespan: 50,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Other
5 Yr Limited Warranty: The RAB 5-year, limited warranty covers light output, driver performance and paint finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.
Trade Agreements Act Compliance: This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act.
Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



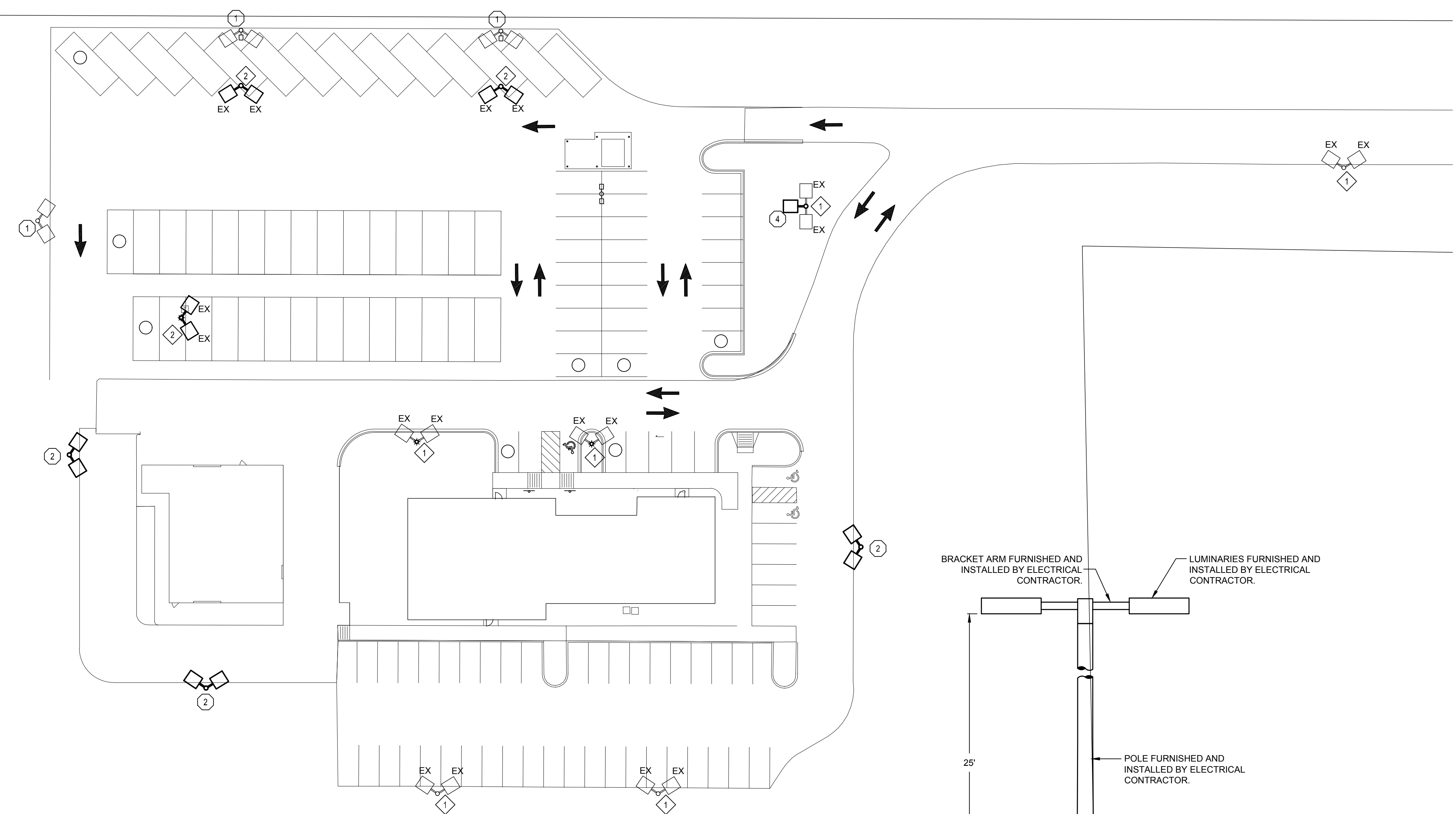
Features

Versatile, general-purpose floodlight
 7H x 7V NEMA distribution
 0-10V dimming
 IP65 rating protects against dust and water
 50,000-Hour LED lifespan

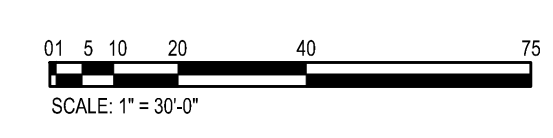
Ordering Matrix

Family	Lumen Packages (values are nominal)	Mounting	CRI/Color Temp	Finish	Driver/Voltage
X34	150L	SF	Blank = 80 CRI, 5000K -830 = 80 CRI, 3000K	Blank = Bronze W = White	/U = 120-277V, 0-10V Dimming
	100L = 10,000 Lumens, 87W 150L = 15,000 Lumens, 130W 195L = 19,500 Lumens, 160W	SF = Slipfitter T = Trunnion			

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ELECTRICAL-SITE PLAN-NEW

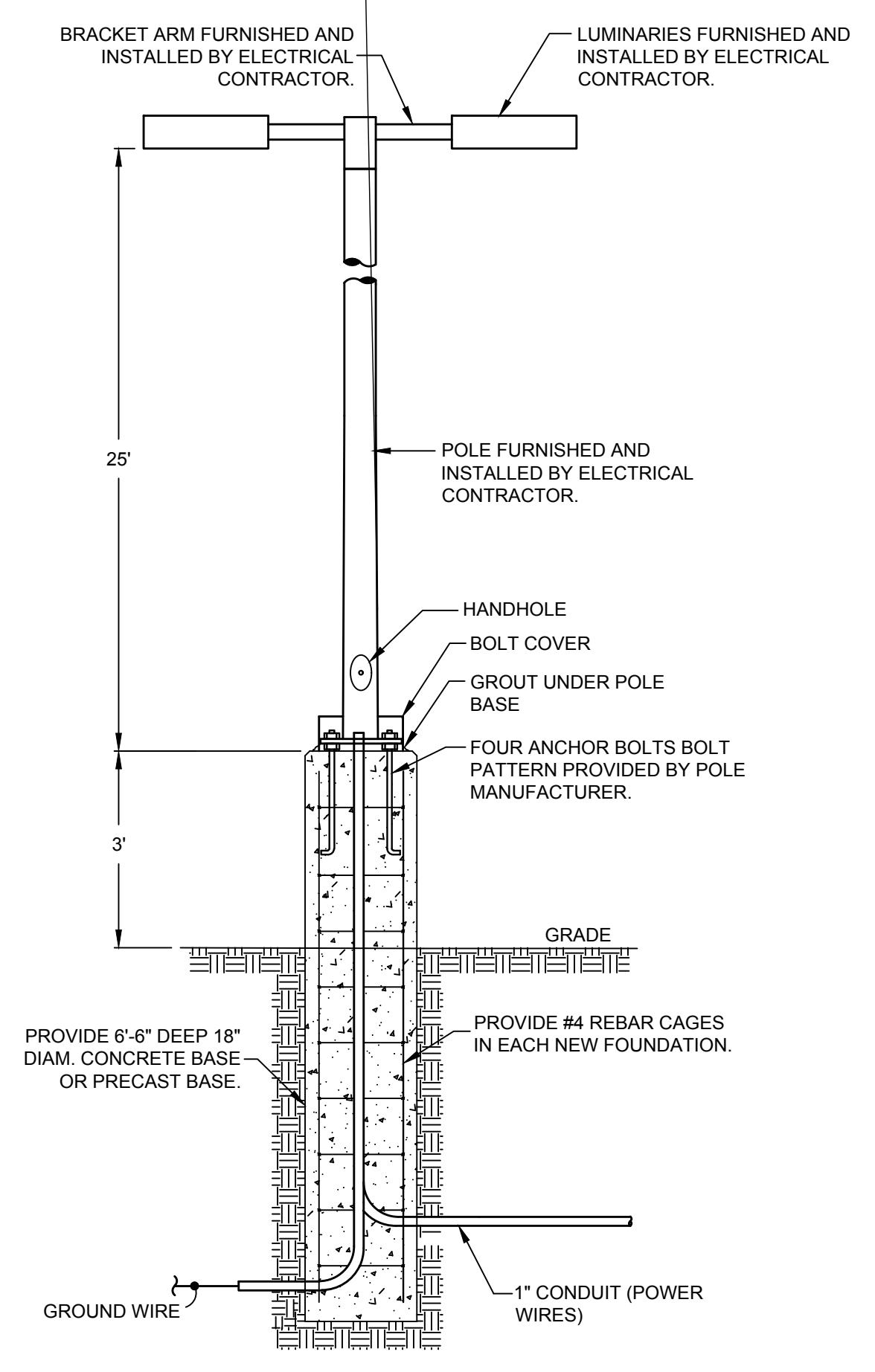


DEMOLITION NOTES

- 1 EXISTING LIGHT FIXTURE TO REMAIN.
- 2 DISCONNECT & RELOCATE EXISTING LIGHT FIXTURE. EXTEND ASSOCIATED CONDUIT & WIRE AS NEEDED.
- 3 DISCONNECT & RELOCATE EXISTING EQUIPMENT. EXTEND ASSOCIATED CONDUIT & WIRE AS NEEDED.

ELECTRICAL KEY NOTES

- 1 CONTRACTOR SHALL RE-INSTALL EXTERIOR LIGHT AND POLE TO NEW LOCATION.
- 2 CONTRACTOR SHALL SUPPLY AND INSTALL TWO LIGHT FIXTURES AND ONE POLE TO MATCH EXISTING SITE LIGHTING. USE EXISTING LIGHTING CIRCUIT TO POWER NEW POLES. TIE INTO EXISTING LIGHTING CONTROLS.
- 3 CONTRACTOR SHALL CONNECT RELOCATED EQUIPMENT. RE-USE EXISTING CIRCUIT. EXTEND WIRE AND CONDUIT AS NEEDED.
- 4 CONTRACTOR SHALL SUPPLY ONE NEW LIGHT FIXTURE AND MOUNTING BREAKER TO ATTACH TO EXISTING POLE. CIRCUIT TO EXISTING POWER CIRCUIT.



1 TYPICAL LIGHT FIXTURE POLE DETAIL
 SCALE: NTS

**REVIEW
 DRAWING
 NOT FOR
 CONSTRUCTION**
 PLOT DATE: 11/05/2021

SITE PLAN REVIEW	11/15/2021
DESIGN DEVELOPMENT	10/28/21
SCHEMATIC DESIGN	9/24/21
DATE ISSUED	
MJC	
DRAWN BY	
JFB	
CHECKED BY	

HOBBS + BLACK
ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P. 734.463.4189
 www.hobbs-black.com

**CLINTON AREA TRANSIT
 TRANSIT SYSTEM
 RENOVATION AND
 ADDITIONS AND
 SITE IMPROVEMENTS**
 215 NORTH SCOTT ROAD,
 ST. JOHNS, MICHIGAN 48879
 PROJECT

MATRIX
 CONSULTING ENGINEERS, INC.
 1601 E. CESAR CHAVEZ AVE.
 LANSING, MI 48906
 PHONE: (313) 487-2511
 FAX: (313) 487-2544
administrator@matrixceinc.com
 Matrix Project No. 21361.00

CONSULTANT

**ELECTRICAL
 SITE PLAN
 NEW**

SHEET TITLE

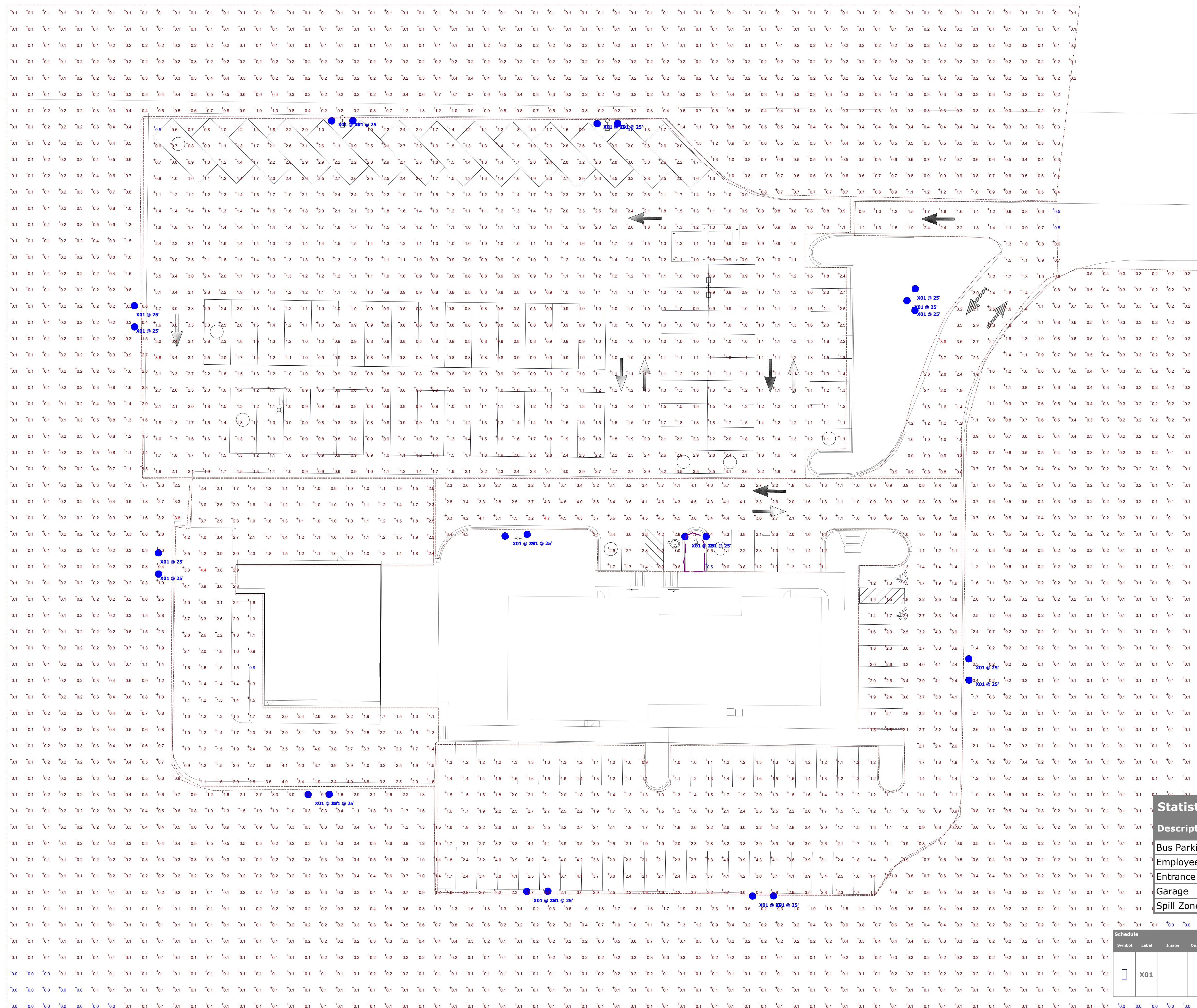
21-318

PROJECT NUMBER

E-200

SHEET NUMBER

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 Layout: 24x36
 Plotted by: mcorradis



Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Bus Parking	+	1.5 fc	3.6 fc	0.5 fc	7.2:1	3.0:1
Employee Parking	+	2.3 fc	4.7 fc	0.5 fc	9.4:1	4.6:1
Entrance	+	1.6 fc	3.9 fc	0.5 fc	7.8:1	3.2:1
Garage	+	2.1 fc	4.4 fc	0.8 fc	5.5:1	2.6:1
Spill Zone	+	0.3 fc	3.8 fc	0.0 fc	N/A	N/A

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens per Lamp	Light Loss Factor	Description	Wattage	Plot
X01			23	HAB LIGHTING INC.	X34-150L (T-5F)-850/U	1	18524	1		132.9	

Leslie Lechner-Salemi
Chair

James Ensign
Vice-Chair

Commissioners

Eric Hufnagel, Mayor
Jean Ruestman, Vice Mayor
Heather Hanover
Mark Holden
Melvin Renfrow
Wendy Ward
Eric Harger

Dave J. Kudwa, P.E.
Community
Development Director



CITY OF ST. JOHNS
PLANNING COMMISSION

2021 Annual Report

1. Membership

Planning Commission Member	Term Expiration
James Ensign	November, 2024
Mark Holden	November, 2024
Leslie Salemi	November, 2022
Heather Hanover	November, 2022
Eric Harger	November, 2023
Melvin Renfrow	November, 2023
Wendy Ward	November, 2023
Eric Hufnagel	Ex. Officio member
Jean Ruestman	Ex. Officio member

2. Meetings (*Michigan Planning Enabling Act 33 of 2008 requires four (4) annual meetings*)

The City of St. Johns Planning Commission met 10 times. This meets the requirement of the Michigan Planning Enabling Act 33 of 2008.

3. Master Plan Review

The Downtown Master Plan and Community Master Plan both went through a vigorous process in 2020 soliciting ample feedback and ensuring a comprehensive final product was made. The Planning Commission voted to approve the Downtown Master Plan and Community Master Plan as presented by McKenna & Associates. These documents were both sent to the City Commission where they were adopted. In 2021, the planning commission

100 East State Street, P.O. Box 477, St. Johns, Michigan 48879-0477
(989) 224-8944 Fax (989) 224-2204
E-mail: dkudwa@stjohnsmich.com

focused on ordinance changes to support the master plan updates. No additional changes were made to the master plan.

4. Zoning Ordinance Amendments

The planning commission worked on the following ordinance amendments:

- A. Title XV, Chapter 155 (Central Business District) Sections 155.100-155.104 and 155.170 - Ordinance #660 to revise the certain provisions of the St. Johns zoning code.
- B. Title XV, Chapter 155 (Minimum apartment size), Section 155.199 - Ordinance #661 to add a provision establishing the minimum dwelling size within the city.
- C. Draft Ordinance – City Ordinance 151 update per State enabling legislation updates
- D. Draft Ordinance - Special Use Criteria – Section 155.258
- E. Draft Ordinance – Rental inspection program

5. Development Reviews

Project Type	Location	Description	Recommendation to legislative body	Status	Date of action
Site plan review / special land use / rezoning	909/917 N. US 127 BR	Storage facility	Approved w/ Conditions	Approved w/ Conditions	February, 2021
Site Plan Review / special land use	1300 N. US-127 BR	Storage facility	Approved w/ Conditions	Approved w/ Conditions	February, 2021
Special Use Permit / Site Plan Review	709 W. State Street	Valero Gas Station redevelopment	Approved w/ Conditions	Approved w/ Conditions	February, 2021
Special land use / Site Plan Review	950 E. Townsend Rd	Mint City Storage	Approved w/ Conditions	Approved w/ Conditions	August, 2021
Site plan review	1420 E. M-21	ITC – additional storage area	Approved w/ Conditions	Approved w/ Conditions	September, 2021
Site Plan Review	215 N. Scott Road	Clinton Area Transit Authority	Approved w/ Conditions		December, 2021

6. Variations / Ordinance interpretations (Actions taken by the Zoning Board of Appeals in 2021)

Ordinance	Location	Description	Action	Status	Date of action
Section 155.187 Fences, Walls, or Screens	1300 US-127 BR	ZBA reviewed a sign height and type variance request	Approved Variance Request	N/A	September, 2021
Section 155.170 Dimensional Requirements	1210 Lincolnshire Drive	ZBA reviewed side yard setback variance request for garage	Approved Variance Request	N/A	September, 2021
Section 155.189 Dimensional Requirements	705 Railroad Street	ZBA reviewed accessory building placement in side yard	Approved Variance Request	N/A	September, 2021

7. Planning and zoning actions by legislative body

Over the past year, the city commission has used their legislative authority in the following ways to impact planning and zoning activity:

1. Authorized city staff and planning commission to update multiple sections of the zoning ordinance
2. Special land use / site plan reviews and approvals
3. Approval of Redevelopment Ready Community certification
4. Approval to update the City’s zoning map and convert to a digital platform

8. Zoning Map (Planning commission review of problem areas or re-zoning requests)

Current Zoning District	Location	Description	Action	Status	Date of action
Office (O)	917 N. US-127 BR	Request to re-zone to General Commercial (GC) for storage facility	Approved Re- zoning Request	N/A	February, 2021

The planning commission should give consideration to reviewing the following areas:

1. Industrial and mixed-use zoned properties adjacent to the central business district – rezone to central business district?
2. Residentially zoned properties on the east M-21 corridor
3. The size of the residential zoning districts - R1, R2, and R3 – should portions of these areas be rezoned?
4. Review of the office zoning district
5. Update to the commercial zoning district

9. Administrative zoning permit approvals

Administratively approved zoning permits:

	<u>2020</u>	<u>2021</u>
A. Accessory building construction:	23	11
B. Building additions:	0	10
C. Deck construction:	12	7
D. Fence installation:	19	34
E. New house construction	10	4
F. Sign construction	10	10
G. Pool installation	1	4
H. Driveway / Parking	6	17
I. Change of use	7	6
J. Collection box	0	0
K. Land Division	2	3
L. <u>Demolition</u>	0	1
Total:	90	107

Workload analytics for administrative permit reviews:

Jan – 3, Feb – 5, March – 17, April – 17, May – 14, June – 11, July – 13, August – 9, Sept – 7, Oct – 5, Nov – 6, Dec – 0

76% of administrative zoning permit applications were processed in a six-month period between March 1st and September 1st.

10. 2021 Trainings / Joint meetings

None

11. 2021 Year in Review – Photos

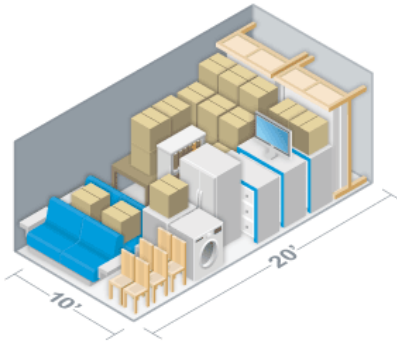


Valero Gas Station Redevelopment

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(989) 224-8944 Fax (989) 224-2204
E-mail: dkudwa@stjohnsmich.com



2021 – 2026 Capital Improvement Plan



Storage Facilities



Residential zoning district – ordinance review



Redevelopment Ready Community certification



Zoning map research & update – created digital version



Downtown Parking plan

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E-mail: dkudwa@stjohnsmich.com