

Heather Hanover
Chair

James Ensign
Vice-Chair

Commissioners
Vacant (Mayor)
Scott Dzurka, Vice Mayor
Mark Holden
Melvin Renfrow
Wendy Ward
Eric Harger



CITY OF ST. JOHNS PLANNING COMMISSION

MEETING AGENDA
MEETING DATE: June 14, 2023

The St. Johns Planning Commission will hold a regular meeting on June 14, 2023 at 5:30 pm in the County Commission Chambers located at the Clinton County Courthouse, 100 E. State Street, St. Johns, MI. (Please use Cass St. Entrance.)

AGENDA

1. Call to Order (5:30 pm)
2. Approval of Agenda (5:30 pm – 5:32 pm)
3. Approval of Minutes (May 10, 2023 Meeting) (5:33 pm – 5:34 pm)
4. Public comment for non-agenda items (5:34 pm – 5:35 pm)
5. Public Hearings:
 - A. 500 N. Lansing Contractor's Storage Building/Yard Special Use (5:36 – 5:45)
 - B. FC Mason Conditional Rezoning (5:46 – 5:55)
 - C. Psychological Patients Zoning Amendment (5:56 – 6:00)
 - D. Chickens Zoning Amendment (6:01 – 6:05)
6. New Business
 - A. 500 N. Lansing Contractor's Storage Building/Yard Special Use (6:06 – 6:15) (ACTION ITEM)
 - B. 500 N. Lansing Contractor's Storage Building/Yard Site Plan (6:15 – 6:20) (ACTION ITEM)

C. FC Mason Conditional Rezoning

(6:21– 6:30) (ACTION ITEM)

D. Psychological Patients Zoning Amendment

(6:31 – 6:35) (ACTION ITEM)

E. Chickens Zoning Amendment

(6:36 – 6:40) (ACTION ITEM)

F. Chain Link Fence Zoning Amendment - Discussion

(6:41 – 6:50)

G. Planning Commission Absence Policy - Discussion

(6:51 – 7:00)

7. Old Business: None

8. Commissioner Comments (7:01 – 7:10)

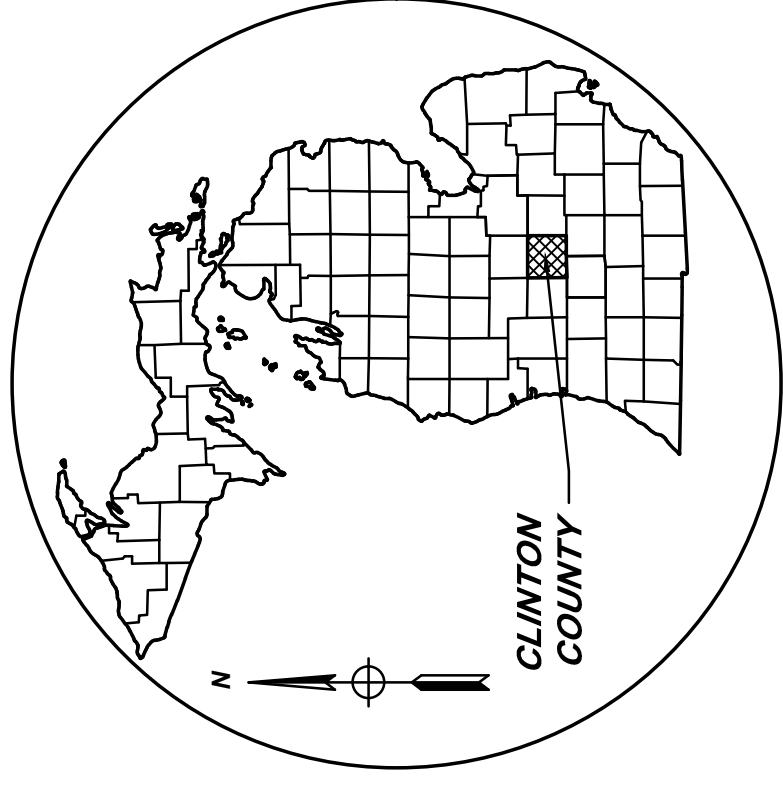
9. Adjournment

Please note that the Planning Commission will take up the following topics at future meetings, depending on available time:

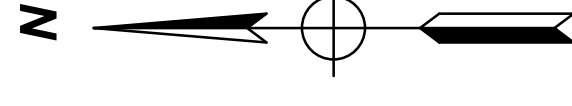
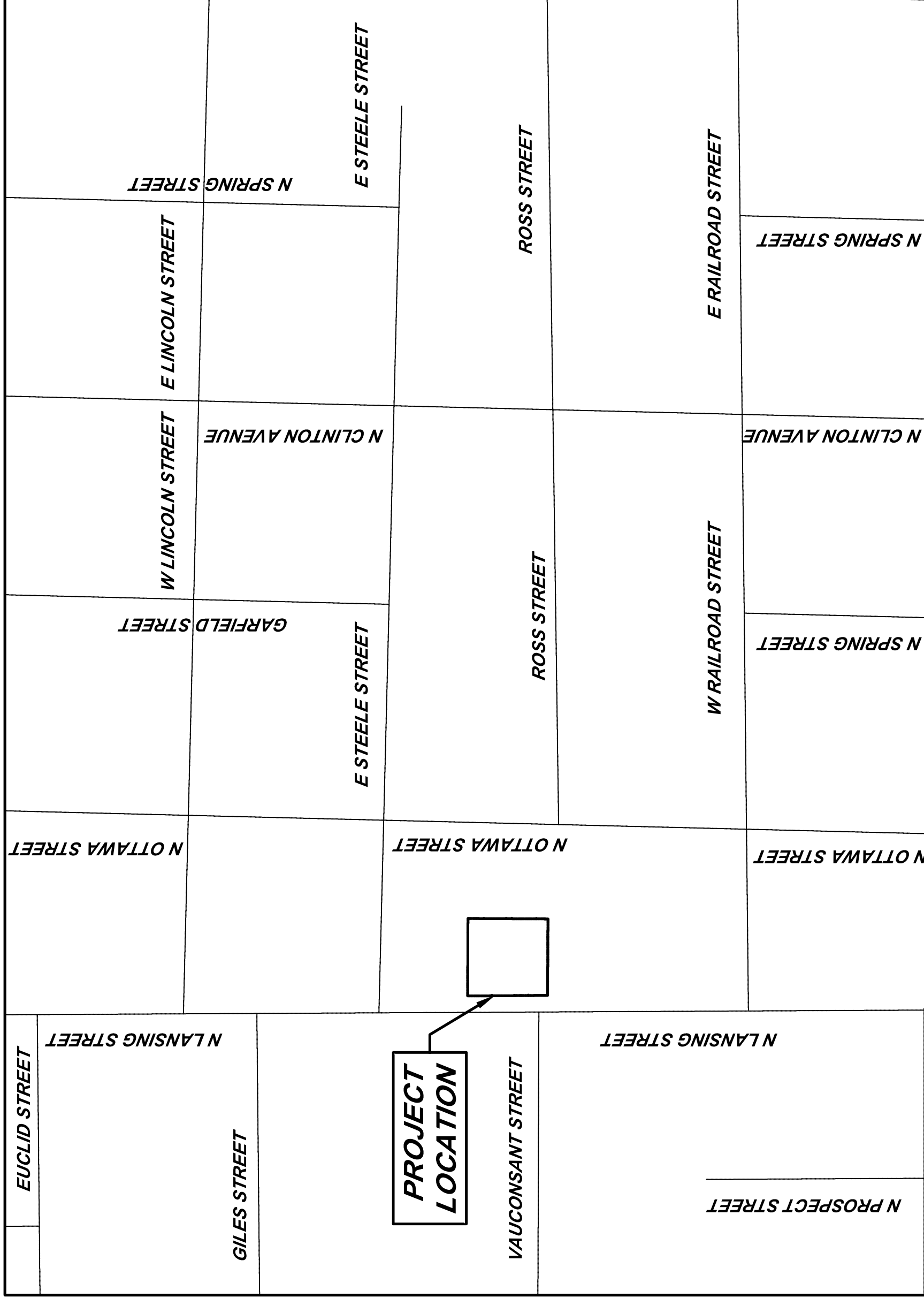
- *RV and Golf Cart Parking - Potential Zoning Amendment*
- *Downtown Edge Parking - Potential Zoning Amendment*
- *FC Mason Phase 3 Site Plan Review*

SITE IMPROVEMENTS NEW STORAGE BUILDING

YOUNGSTROM CONSTRUCTING, INC.
519 SPRAGUE ROAD
IONIA, MI 48846
TELE. 616-527-8899
EMAIL. youngstromscot@gmail.com



AREA MAP
NOT TO SCALE



SECTION 9, T.7N. - R.2 W.
CITY OF ST. JOHNS
CLINTON COUNTY, MICHIGAN

PLAN INDEX

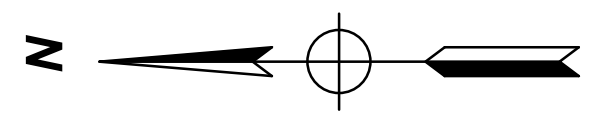
FILE NO.	DESCRIPTION	NO.
JD-1952-1	TITLE SHEET	C1
JD-1952-2	NOTES	C2
JD-1952-3	DEMOLITION PLAN	C3
JD-1952-4	SITE PLAN	C4
JD-1952-5	GRADING PLAN & UTILITY PLAN	C5
JD-1952-6	SOIL EROSION PLAN	C6
JD-1952-7	SOIL EROSION NOTES	C7
JD-1952-8	SITE DETAILS	C8
JD-1952-9	LANDSCAPE PLAN	L1
JD-6354	TOPOGRAPHIC SURVEY	

BY	MARK	REVISIONS	DATE
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YOUNGSTROM CONTRACTING, INC. 519 SPRAGUE ROAD IONIA, MI 48846			
TITLE SHEET NEW STORAGE BUILDING 500 N. LANSING STREET ST JOHNS, MI 48879			
<small>ST. JOHNS OFFICE</small> 1400 Zeeb Road St. Johns, MI 48879 Tel. 817-774-2375 www.SpicerGroup.com			
DE BY: MTS	CH. BY: BMB	PROJECT NO:	
DR BY: MTS	APP. BY: MTS	134048SG2023	
STDS:		SHEET 1	OF 9
DATE: May 15, 2023	SCALE: N/A	FILE NO:	JD-1952- 1

LOCATION MAP
NOT TO SCALE

DEMOLITION NOTES

- PROTECT TREES, PLANT GROWTH, AND FEATURES DESIGNATED TO REMAIN, AS FINAL LANDSCAPING.
- CONTRACTOR SHALL COORDINATE WITH OWNER'S REPRESENTATIVE THE TAGGING OF SPECIFIC TREES/SHRUBS TO BE PRESERVED PRIOR TO BEGINNING DEMOLITION.
- CLEAR AREAS REQUIRED FOR ACCESS TO SITE AND EXECUTION OF WORK.
- REMOVE NOTED PAVING, CURBS, AND SIDEWALKS.
- SAWCUT ALL PAVEMENT, CURBS AND WALKS NOTED FOR REMOVAL FOR A CLEAN EDGE.
- REMOVE ALL CLEARED ITEMS FROM SITE AND PROPERLY DISPOSE OF.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDING ALL DISTURBED AREAS.



SECTION 9, T.7N. - R.2 W.
CITY OF ST. JOHNS
CLINTON COUNTY, MICHIGAN

DEMOLITION & REMOVAL NOTES

- REMOVE EXISTING GRAVEL
- REMOVE EXISTING CONCRETE DRIVEWAY.
- REMOVE EXISTING CONCRETE SIDEWALK.
- SAWCUT AND REMOVE EXISTING CURB.
- REMOVE EXISTING STORM SEWER.
- EXISTING OVERHEAD ELECTRICAL LINE AND UTILITY POLE TO BE RELOCATED BY UTILITY COMPANY.

PARCEL DESCRIPTION

(As Provided)
Lot 1, 1/4 of the North 1/4, portion of the West 1/2, of that part of Outlet B which lies North of the Detroit, Grand Haven and Milwaukee Railway EXCEPT 8.5 feet in width off the entire South side of said North 1/4, Walker and Steel Subdivision, as recorded in Clinton County Records, T.7 N.-R.2 W., City of St. Johns, Clinton County, Michigan.

BENCHMARKS

BM A, Set Cornerstone in East face of Lansing Street. First Power pole North of Vauconsant Street.
NAVD88 EL. 753.99

ZONING

The subject property is zoned MU "Mixed Use".

BUILDING SETBACKS:

- Minimum Lot Area: 7,000 sq. ft.
- Minimum Lot Width: 75 ft.
- Front Setback: 10 ft.
- Side Yard Setback: 10 ft.
- Rear Yard Setback: 35 ft.
- Maximum Building Height: 30 ft.

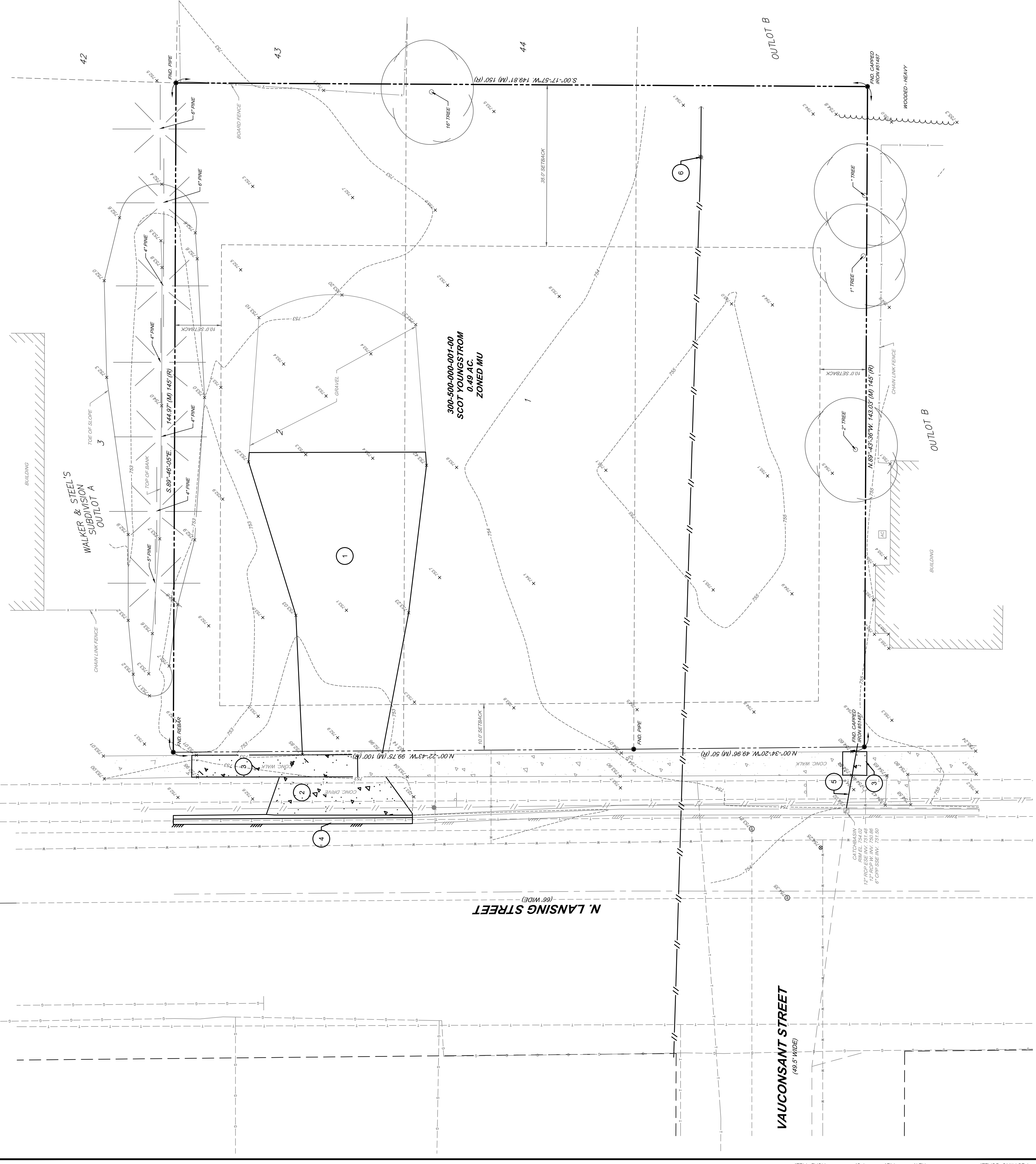
For more Zoning Information see City of St. Johns Zoning Ordinances.

EXISTING USE

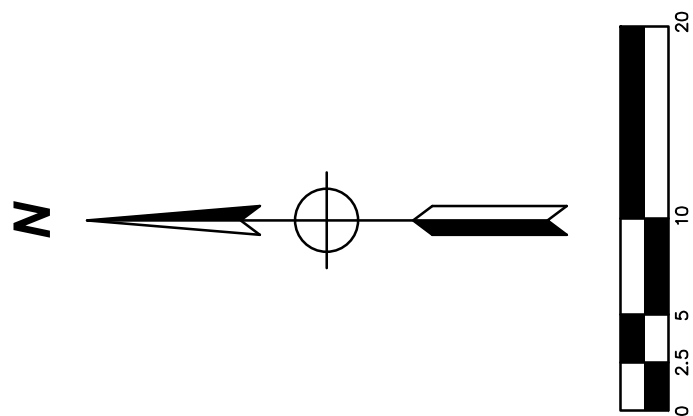
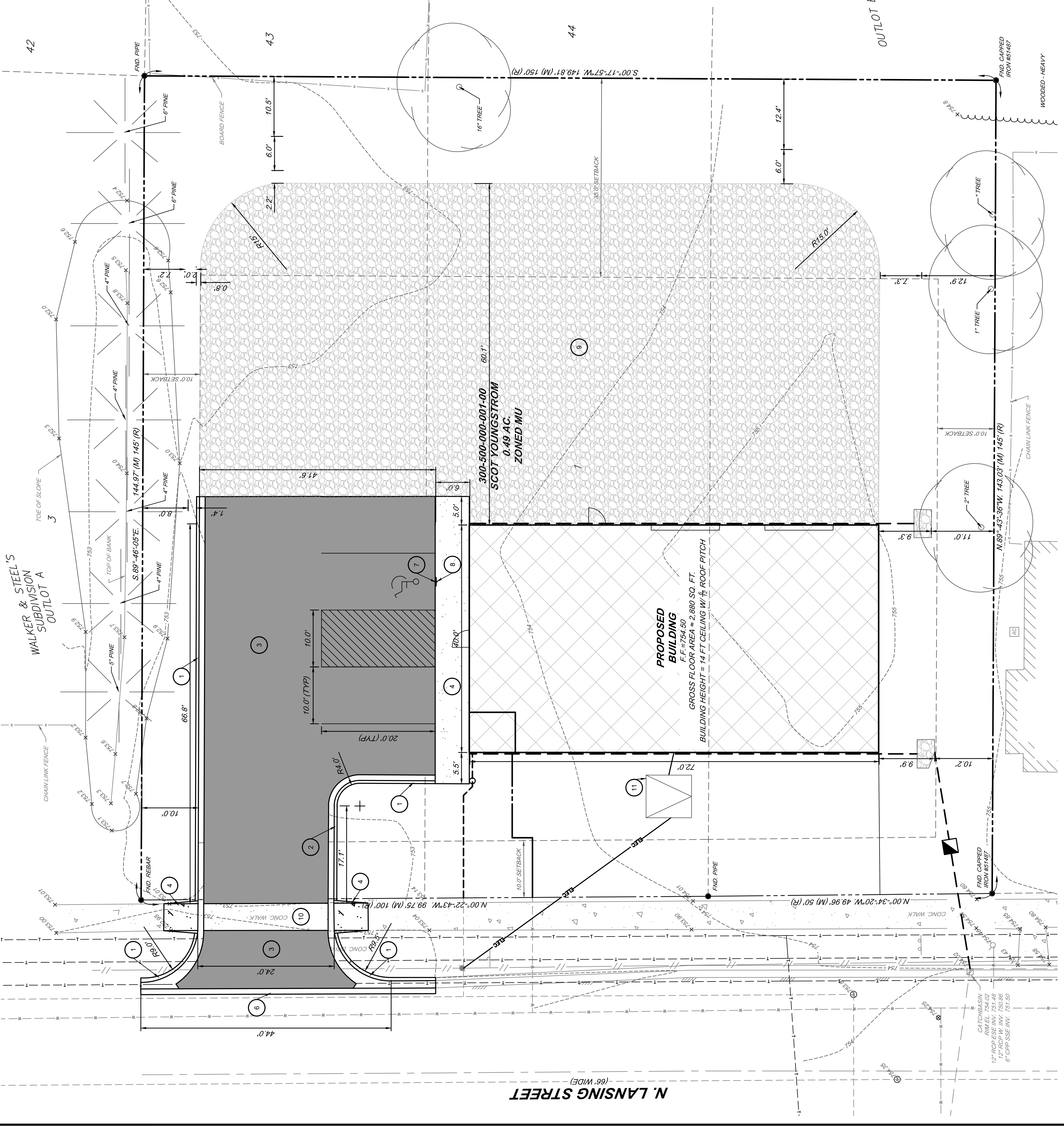
The subject property is currently a vacant lot.

PROPOSED USE

Proposed use for the subject property includes the construction of a new storage building, to house construction materials. Proposed site improvements include a paved driveway, small parking lot, gravel storm sewer, and a single storm sewer pipe. The storm sewer and south side area which will outlet to the existing public storm sewer.



BY	MARK	REVISIONS	DATE
<small>THE WORK REPRESENTED BY THIS DRAWING WAS DESIGNED BY THE ENGINEER FOR THE PROJECT AND THE ENGINEER HAS CONDUCTED A VISUAL GENERAL VERIFICATION OF THE INFORMATION WITH THE CONDITIONS PRESENT AT THE TIME THE DESIGN WAS MADE. THE ENGINEER DOES NOT GUARANTEE AND WILL NOT BE LIABLE FOR ANY OTHER LOCATION, CONDITION, OR DIMENSION OF EXISTING UTILITIES OR STRUCTURES UNLESS SPECIFICALLY NOTED OTHERWISE ON THIS DRAWING.</small>			
YOUNGSTROM CONTRACTING, INC. 519 SPRAGUE ROAD IONIA, MI 48846			
DEMOLITION PLAN NEW STORAGE BUILDING 500 N. LANSING STREET ST. JOHNS, MI 48879			
<small>ST. JOHNS OFFICE 1400 Zeeb Drive St. Johns, MI 48879 www.StJohnsGroup.com</small>			
DE BY:	MTS	CH BY:	BMB
DR BY:	MTS	APP BY:	MTS
PROJECT NO.	134048SG2023		
SHEETS	3	OF	9
DATE	May 16, 2023		
SCALE	1" = 10'		
FILE NO.	JD-1952-3		



SECTION 9, T.7N. - R.2 W.
CITY OF ST. JOHNS
CLINTON COUNTY, MICHIGAN

PARCEL DATA
0.579 ACRES
TAX # 300-300-000-001-00

PARKING
TOTAL PARKING SPACES REQUIRED:
4 MINIMUM ONE (1) FOR EVERY ONE THOUSAND (1,000) SQUARE FEET OF FLOOR SPACE.
ONE (1) FOR EVERY 1,000 SQ FT - 2,880 SF/1,000 = 2.88 SPACES
PARKING SPACES REQUIRED = 3 SPACES
REGULAR PARKING SPACES PROVIDED = 3 SPACES
BARRIER FREE PARKING SPACES PROVIDED = 1 VAN ACCESSIBLE SPACE

CONSTRUCTION NOTES

- 1 CONCRETE CURB & GUTTER, MDOT DETAIL C4 PER MDOT STANDARD PLAN R-30-G.
- 2 CONCRETE CURB & GUTTER, MDOT DETAIL C4 REVERSE PAN PER MDOT STANDARD PLAN R-30-G.
- 3 STANDARD ASPHALT PAVEMENT.
- 4 SIDEWALK RAMP PER MDOT SPECIAL DETAIL R-28-J, TYPE P.
- 5 4" THICK CONCRETE SIDEWALK PER MDOT STANDARD PLAN R-29-4.
- 6 DRIVE OPENING, DETAIL M, PER MDOT STANDARD PLAN R-28-4.
- 7 BARRIER FREE SIGN PER MDOT STANDARD HIGHWAY SIGN RT-8, RT-8P.
- 8 BOLLARD.
- 9 GRAVEL SURFACE
- 10 6" THICK CONCRETE SIDEWALK
- 11 APPROXIMATE LOCATION OF ELECTRIC TRANSFORMER, TO BE DESIGNED AND INSTALLED BY UTILITY COMPANY, TO BE COORDINATED WITH UTILITY COMPANY.

YOUNGSTROM CONTRACTING, INC.
519 SPRAGUE ROAD
JOMIA, MI 48846

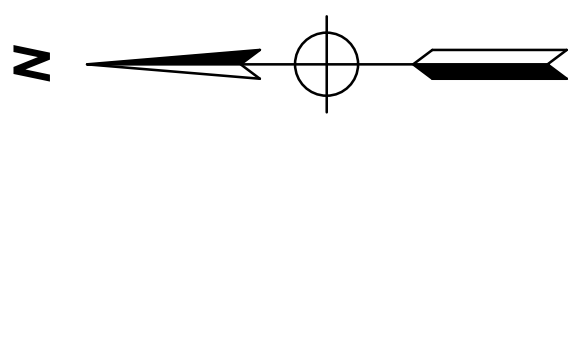
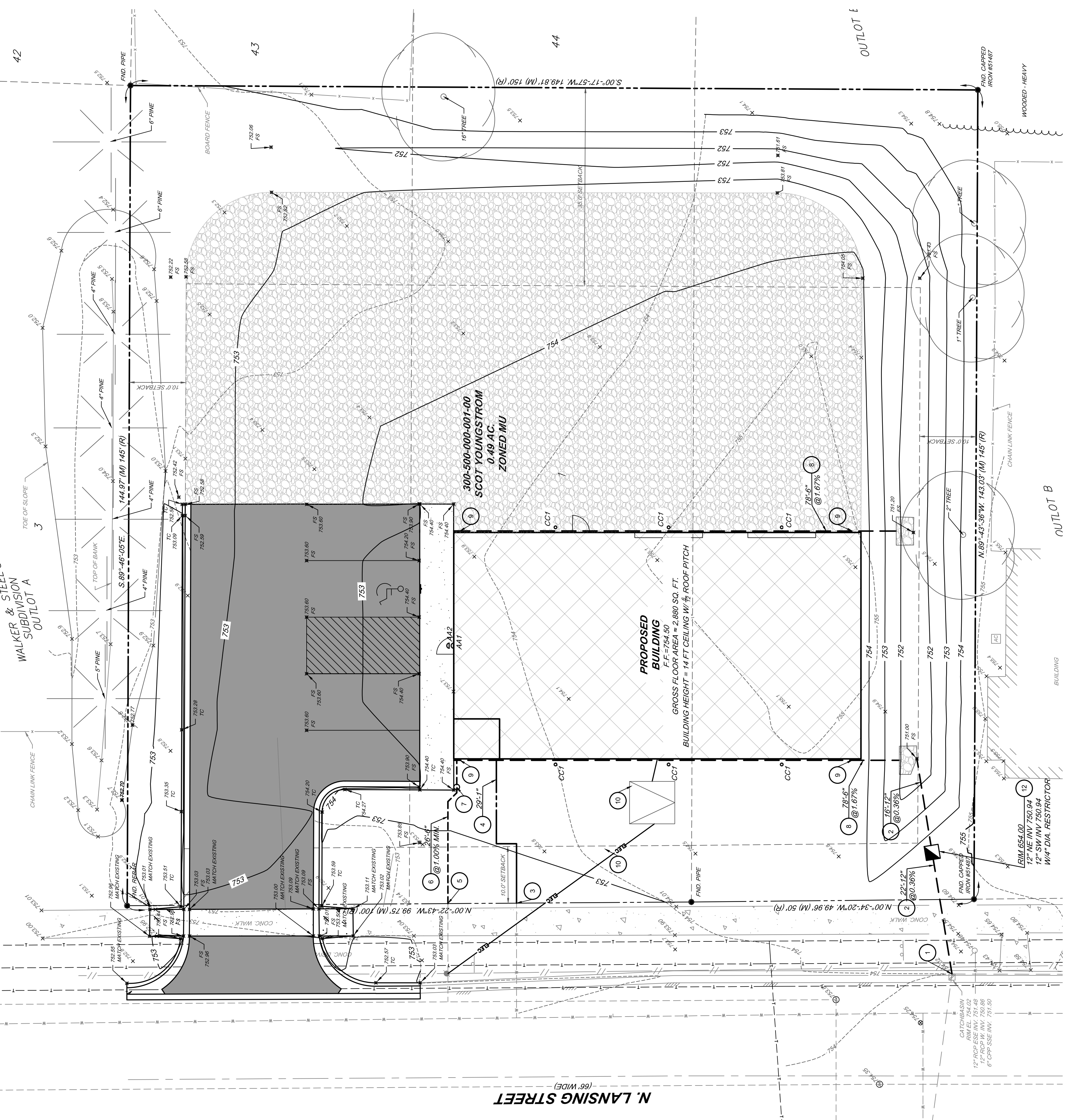


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Tel: 817-774-2375
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BY	MARK	REVISIONS	DATE
DE BY:	M/S	CH. BY:	BMB
DR. BY:	M/S	APP. BY:	M/S
PROJECT NO.	134048SG2023		
STDS.	MAY 15, 2023	SHEET	4 OF 9
DATE	FILE NO. JD-1952- 4		
SCALE	1" = 10'		

LIGHTING LEGEND		
TAG	SYMBOL	DESCRIPTION
A41		LED WALL PACK - FULL CUT-OFF (ENTRY DOOR)
A42		LED WALL PACK - FULL CUT-OFF (PARKING LOT)
CC1		LED RECESSED DOWNLIGHT

NOTE - LIGHT FIXTURE MOUNTING HEIGHTS TO BE FIELD VERIFIED.



SECTION 9, T.7N. - R.2 W.
CITY OF ST. JOHNS
CLINTON COUNTY, MICHIGAN

CONSTRUCTION NOTES

- 1 CONNECT TO EXISTING CATCH BASIN.
- 2 12" STORM SEWER MAIN PIPE, ASTM D 3034 GASKETED INTEGRATED BELL PVC PIPE.
- 3 CONNECT TO EXISTING WATER LATERAL. EXACT LOCATION TO BE FIELD VERIFIED.
- 4 WATER SERVICE LEAD- TYPE K COPPER.
- 5 CONNECT TO EXISTING SANITARY LATERAL. EXACT LOCATION TO BE FIELD VERIFIED.
- 6 6" SANITARY LEAD - PVC, SDR 35, TYPE FSM PLASTIC, CONFORMING TO ANSIA/ASTM D3034 WITH RUBBER GASKET JOINTS.
- 7 SANITARY CLEANOUT.
- 8 STORM DRAIN LINE FOR ROOF CONDUCTOR CONNECTIONS - SDR 35, PVC, BELL END W/ RUBBER RINGS. ASTM F2868.
- 9 DOWNSPOUT CONNECTION.
- 10 APPROXIMATE LOCATION OF ELECTRIC TRANSFORMER TO BE DESIGNED AND INSTALLED BY UTILITY COMPANY. TO BE COORDINATED WITH UTILITY COMPANY.
- 11 APPROXIMATE LOCATION OF NEW ELECTRICAL CONNECTION, TO BE COORDINATED WITH UTILITY COMPANY.
- 12 STORMWATER OUTLET CONTROL.

BY	MARK	REVISIONS	DATE

DESIGNED BY: MTS
 DRAWN BY: MTS
 CHECKED BY: BMB
 APPROVED BY: MTS

PROJECT NO. 134048SG2023
 SHEET 5 OF 9
 DATE May 15, 2023
 SCALE 1" = 10'

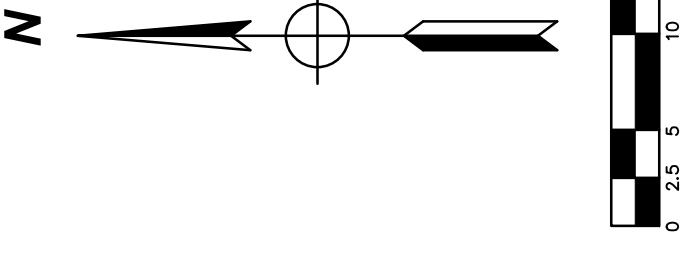
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SPAC GROUP

GRADING PLAN & UTILITY PLAN
 NEW STORAGE BUILDING
 500 N. LANSING STREET
 ST JOHNS, MI 48879

2018 MICHIGAN ASSOCIATION OF COUNTY DRAIN COMMISSIONERS SOIL EROSION AND SEDIMENTATION CONTROL AUTHORIZED PUBLIC AGENCY PROCEDURES

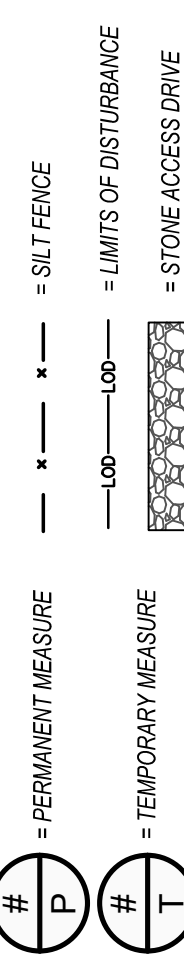


SECTION 9. T.7M - R.2 W. CITY OF ST. JOHNS, MICHIGAN CLINTON COUNTY, MICHIGAN

KEY	SESC MEASURE	SYMBOL	WHERE USED
1	Seeding		Where bare soil is exposed, temporarily or permanently, to erosion from wind and/or water on the areas, cut slopes, graded waterways and pathways, ditches and dikes, borse and stockpile areas, and soil piles.
2	Mulch		On fill areas, slopes, graded waterways and pathways, diversion ditches and dikes, borse and stockpile areas, and soil piles where areas are subject to erosion impact, and erosion from wind or water.
5	Perimeter Sediment Control Measure (Silt Fence, Storm Water, etc.)		As a temporary measure used to reduce sediment from sheet flow. May also divert small volumes of sheet flow to protected outlets.
7	Storm Drain Inlet Protection		Approved for entrance to a catch basin or an inlet that will capture runoff from an earth change activity.
15	Riprap		Along pipe banks, swales, or where concentrated flows occur. Stone velocity, reduces erosion and sediment load.
28	Stone Construction Access		All locations where construction equipment will enter and exit the drain easement and tracking of soil is anticipated.

DETAILED DRAWINGS AND SPECIFICATIONS ARE LOCATED IN THE MICHIGAN ASSOCIATION OF COUNTY DRAIN COMMISSIONERS SOIL EROSION AND SEDIMENTATION CONTROL AUTHORIZED PUBLIC AGENCY PROCEDURES MANUAL

SYMBOLS TO BE INSERTED INTO CONSTRUCTION DRAWINGS:



Contractor shall conform to Soil Erosion and Sedimentation Control Act, Part 91 of Public Act 451 of 1994, as amended. All catch basins, on the site and adjacent to the site, shall be covered with cloth filters for Soil Erosion and Sedimentation Control.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE AGENCY HAVING JURISDICTION.
- EROSION AND ANY SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORT OF SILT OFF THE SITE.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES. HE SHALL REMOVE TEMPORARY MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAS BEEN ACCOMPLISHED AND APPROVED BY THE AGENCY WITH JURISDICTION.
- DEBRIS FROM THE PROJECT SHALL BE LEFT ON THE SITE BY DELIVERY OR CONSTRUCTION VEHICLES THROUGH THE USE OF CLEAN STONE EXITS. IMMEDIATELY AFTER SEEDING, MULCH OR COVERED AREAS WITH UNWEATHERED SMALL GRAIN STRAW OR HAY SPREAD UNIFORM AT THE RATE OF 1000 LBS PER ACRE. ANCHOR MULCH WITH DISC-TYPE MULCH-ANCHORING TOOL OR OTHER MEANS AS APPROVED BY THE AGENCY WITH JURISDICTION.
- ALL MUD, DIRT, AND DEBRIS TRACKED OR SPILLED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 14 DAYS OF THE DATE OF THE END OF CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN A STABLE AND UNDISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY OCCURS. TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE ESTABLISHED. ALL PERMANENT SOIL EROSION CONTROL MEASURES SHALL BE RESTORED WITHIN FIVE CALENDAR DAYS AND SOO PEGGED IN PLACE.
- PARTICULAR CARE SHOULD BE TAKEN WHEN WORKING ALONG THE PERIMETER OF THE SITE. IN NO EVENT SHALL WORK AREA EXTEND BEYOND THE LIMITS INDICATED ON THE PLANS.
- SHOULD IT BE NECESSARY FOR THE CONTRACTOR TO DEWATER THE GROUND IN THE COURSE OF CONSTRUCTING THE PROPOSED UTILITY, THE CONTRACTOR SHALL CONSTRUCT A TEMPORARY SOIL EROSION CONTROL DEVICE IN A MANNER THAT WILL FILTER ALL DISCHARGED WATER FROM THE DEWATERING OPERATION IN NO INSTANCE SHALL THE DEWATERING DISCHARGE BE PERMITTED TO FLOW UNFILTERED FROM THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL CONTROL THE DUST ON THE SITE DURING THE LIFE OF THE CONTRACT. IN ACCORDANCE WITH THE SPECIFICATIONS AND THE REQUIREMENTS OF THE CONTRACT, THE CONTRACTOR SHALL MAINTAIN THE DUST ON THE SITE AT ALL TIMES AT A LEVEL THAT IS NOT PERMITTED BY THE AGENCY WITH JURISDICTION. THE CONTRACTOR SHALL MAINTAIN THE DUST ON THE SITE AT ALL TIMES AT A LEVEL THAT IS NOT PERMITTED BY THE AGENCY WITH JURISDICTION.
- SHOULD THE SOIL EROSION CONTROL REQUIREMENTS BE NEGLECTED OR NOT ADEQUATELY FOLLOWED, THE COMMUNITY MAY REQUIRE THE CONTRACTOR TO CEASE CONSTRUCTION OPERATIONS AND TO APPLY HIS ENTIRE FORCE TO MEET THE REQUIREMENTS BEFORE PROCEEDING FURTHER WITH THE PROJECT.
- ALL WORK CONNECTED WITH SOIL EROSION AND SEDIMENTATION CONTROL EITHER TEMPORARY OR PERMANENT, AS REQUIRED BY THE SOIL EROSION CONTROL PERMIT, IS TO BE IMPLEMENTED DURING CONSTRUCTION.

SEQUENCE OF CONSTRUCTION - SESS

- INSTALL ALL TEMPORARY SOIL EROSION CONTROL MEASURES PRIOR TO DISTURBING ANY EARTH ON THE SITE.
- STABILIZE SLOPES STEEPER THAN 1 ON 4. CHANNELS AND SWALES WITHIN 7 DAYS OF EARTH DISTURBANCE. INSTALL PERMANENT STABILIZATION MEASURES WITHIN 5 DAYS OF FINAL GRADING.
- DURING STORM SEWER INSTALLATION, ALL NEWLY CONSTRUCTED DRAINAGE STRUCTURES SHALL BE PROTECTED WITH A DRAINAGE STRUCTURE FILTER. THIS WORK WILL BE INCLUDED IN THE DRAINAGE STRUCTURE COST.
- INSTALL TOPSOIL AND HYDROSEED ON DISTURBED RIGHT-OF-WAY WITHIN 5 DAYS OF COMPLETING UTILITY INSTALLATION.
- CLEAN ALL ACCUMULATED SEDIMENT FROM OUTLET CONTROL STRUCTURES, SEWERS AND PAVEMENT AREAS AS REQUIRED FOLLOWING COMPLETION OF CONSTRUCTION.
- THE EXACT SCHEDULE OF SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, WITH DAILY AND/OR DATES OF THE VARIOUS ACTIVITIES SHALL BE SUBMITTED TO CLINTON COUNTY BY THE CONTRACTOR, FOR REVIEW AND APPROVAL, PRIOR TO BEGINNING OF WORK.

NEAREST WATER BODY

ST. JOHNS BIG DITCH AND TOWN DITCH EXT. #487

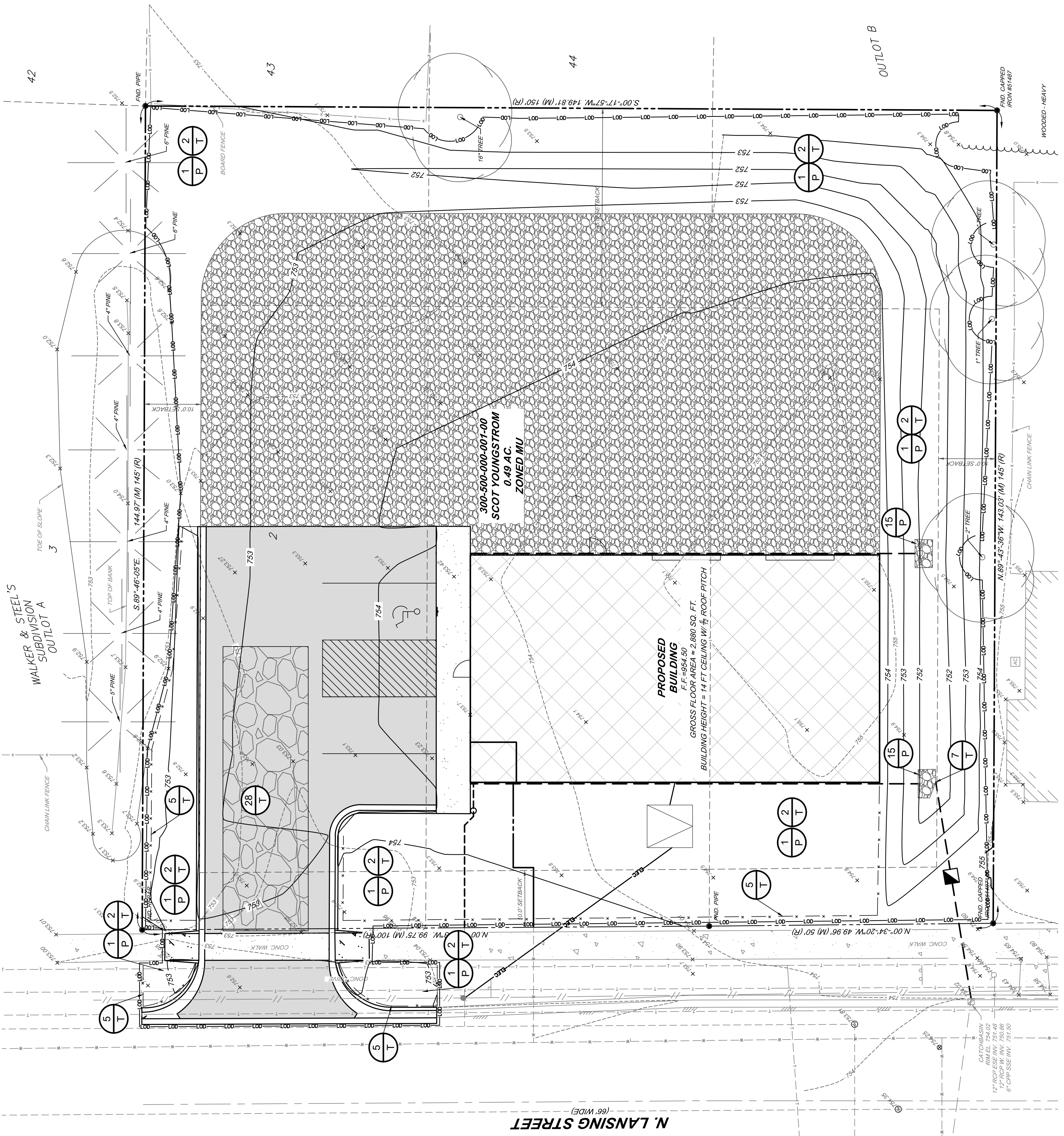
TIMING SEQUENCE

OPERATION	SCHEDULE
TEMPORARY CONTROL MEASURES	AUGUST
STRIPPING STOCKPILING OF SOIL	AUGUST
ROUGH GRADING/SEDIMENTATION CONTROL	AUGUST
STORM UTILITIES	NOVEMBER
PERMANENT CONTROL MEASURE	SEPTEMBER
SITE CONSTRUCTION	NOVEMBER
FINISH GRADING	NOVEMBER

* SCHEDULE TO BE FILLED OUT BY CONTRACTOR/PERMITEE.

SOILS INFORMATION

SYMBOL	TYPE
Pt	PARKHILL LOAM, MCH DENSE T, SUBSOIL, 0 TO 2 PERCENT SLOPES



CONTINUED MAINTENANCE PROGRAM FOR PERMANENT SESS MEASURES

PARTY RESPONSIBLE:	PROPERTY OWNER
INSPECTION SCHEDULE:	INSPECT 6 MONTHS DURING FIRST GROWING SEASON AFTER COMPLETION OF CONSTRUCTION OR AS NEEDED. INSPECT A MINIMUM OF THREE TIMES PER GROWING SEASON FOLLOWING THE FIRST GROWING SEASON AND TWICE DURING THE WINTER SEASON.
PERMANENT SESS MEASURE:	MAINTENANCE PROCEDURE
SEEDING:	REPAIR BARE AREAS, APPLY TOP SUPPLEMENTAL SEED. BARE CH AND WATER AS NEEDED. MOWING CAN BE USED PERIODICALLY TO DISCOURAGE WEEDS.
RIPRAP:	REPAIR AREAS WHERE ROCK HAS BEEN DISPLACED. EXCAVATE RIPRAP AREA IF NEEDED.
STORMWATER OUTLET PIPE:	ROUTINELY REMOVE SEDIMENT ACCUMULATION BY HAND OR WITH A VACUUM TRUCK.

PERMANENT SEEDING

Planting Zones:	Lower Peninsula (South of T20N)	Lower Peninsula (North of T20N)	Upper Peninsula
Seeding Window Permanent Seeding	4/15 - 10/10	5/1 - 10/1	5/1 - 9/20
Seeding Window Dormant Seeding*	11/15 - Freeze	11/01 - Freeze	11/01 - Freeze

Source: Adapted from MDOT interim 2003 Standard Specifications for Construction

Seeding Dates (with Irrigation or Mulch)	Zone 1 Lower Peninsula (South of U.S. 10)	Zone 2 Lower Peninsula (North of U.S. 10)	Zone 3 Upper Peninsula
	4/1 - 8/1	5/1 - 9/20	5/1 - 9/10
Seeding Dates (with Irrigation or Mulch)	4/1 - 5/20 8/10 - 10/1	5/1 - 6/10 8/1 - 9/20	5/1 - 6/15 8/1 - 9/20
Dormant Seeding Dates*	1/11 - Freeze	10/25 - Freeze	10/25 - Freeze

Source: Adapted from USDA NRCS Technical Guide #342 (1999)

* Dormant seeding is for use in the late fall after the soil temperature remains consistently below 50 F. prior to the ground freezing. This practice is appropriate if construction on a site is completed in the fall but the seed was not planted prior to recommended seeding dates. No seed germination will take place until spring. A cool season annual grass may be added in an attempt to have some fall growth.

Mulch must be used with dormant seed.

Do not seed when the ground is frozen or snow covered.
Do not use a dormant seed mix on grassed waterways.

When

- To finalize stabilization of temporary seeding areas or when an area needs permanent stabilization following completion of construction. Also used when vegetative establishment can correct existing soil erosion or sedimentation problem.

Why

- Within 5 days of final grade.
- To stabilize soil and prevent or reduce soil erosion/sedimentation problems from developing.

Where

- Used on construction and earth change sites which require permanent vegetative stabilization.

How

- Review SESC plan and construction phasing to identify areas in need of permanent vegetative stabilization.
- Select perennial grass and ground cover for permanent cover.
- Seed mixes vary. However, they should contain native species.
- Seed mixes should be selected through consultation with a certified seed provider and with consideration of soil type, light, moisture, use applications, and native species content.
- Soil tests should be performed to determine the nutrient and pH levels in the soil. The pH may need to be adjusted to between 6.5 and 7.0.
- Prepare a 3" deep seedbed, with the top 3" consisting of topsoil.
- Slopes steeper than 1:3 should be roughened.
- Apply seed as soon as possible after seedbed preparation. Seed may be broadcast by hand, hydros seeding, or by using mechanical drills.
- Mulch immediately after seeding.
- Dormant seed mixes are for use after the growing season, using seed which lies dormant in the winter and begins growing as soon as site conditions become favorable.
- Protect seeded areas from pedestrian or vehicular traffic.
- Divert concentrated flows away from the seeded area until vegetation is established.

Maintenance

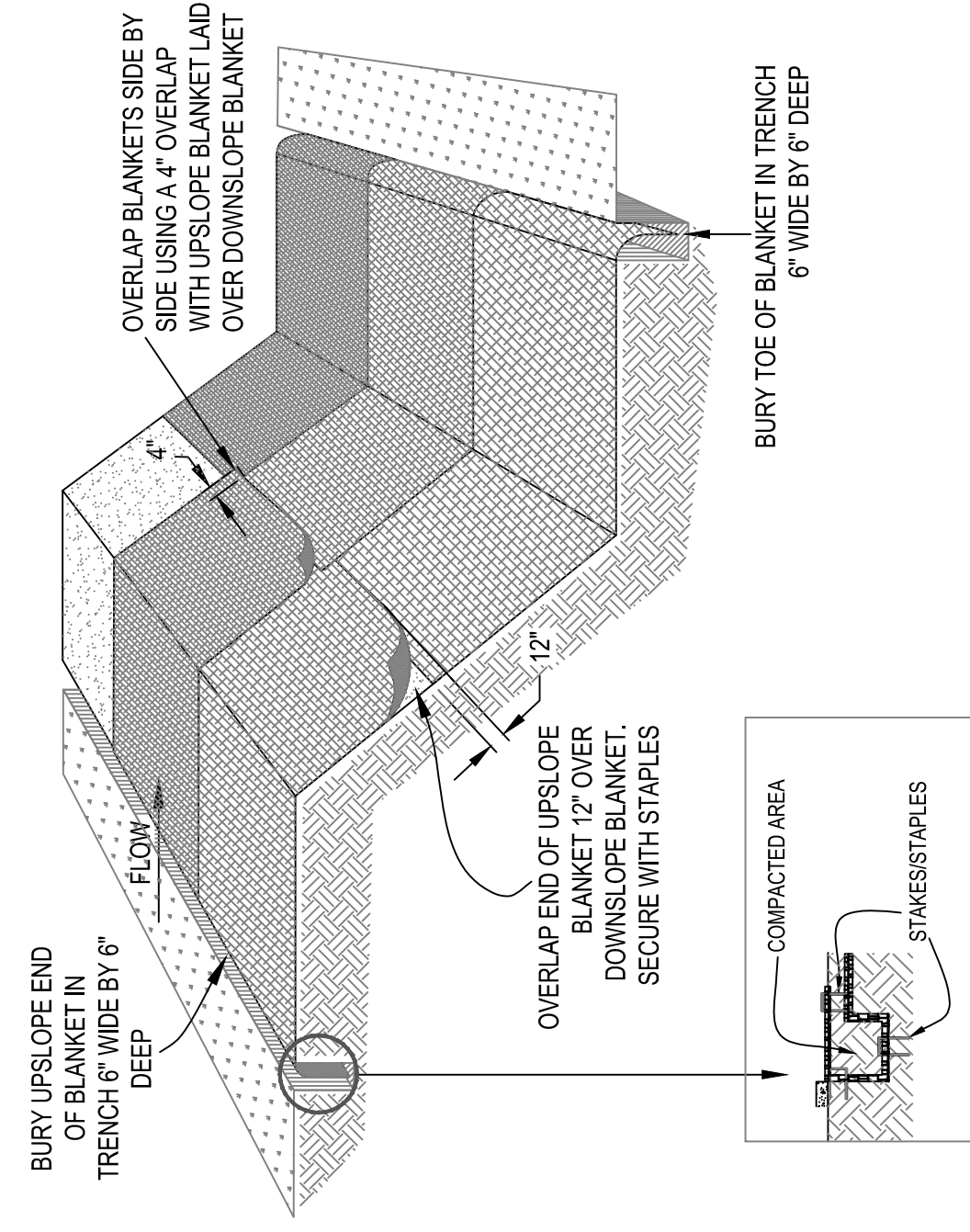
- Contractor shall coordinate weekly inspections and report on all erosion control measures or after a rain event of 1/2" or more. Reports to be kept in field office and a copy faxed to Menard, Inc. each week.
- Inspect weekly and within 24 hours following each rain event in the first few months following installation to be sure seed has germinated and permanent vegetative cover is being established.
- Add supplemental seed as necessary.
- Seeds need adequate time to establish.
- May not be appropriate in areas with frequent traffic.
- Seeded areas may require irrigation during dry periods.

Limitations

- Seeding success is site specific, consider mulching or sodding when necessary.

MULCH BLANKET

NOT TO SCALE



- NOTES:**
- PLACE MULCH BLANKET PARALLEL TO FLOW AND ANCHOR SECURELY.
 - WHEN BLANKETS ARE USED IN FLOWING DITCH, BLANKETS SHOULD NOT OVERLAP IN DITCH CENTER PARALLEL TO FLOW.
 - STAPLES INSTALLED SECURED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - WHERE POSSIBLE, CONSTRUCT WITH BIODEGRADABLE MATERIAL.

MULCH BLANKETS SPECIFICATIONS

When

- When seeded areas are subject to erosive surface flows, severe wind, or to protect non-vegetated slopes or areas during the winter.

Why

- Protects seeded areas and slopes against erosion from rain or wind. Holds soil moisture to allow for seed germination and reduces wind dessication of germinated seeds.

Where

- Use on exposed slopes, newly seeded areas, new ditch bottoms, and other areas subject to erosion.

How

- Prepare subgrade to proper grade and compaction requirements.
- Remove cuts, roots, soil clods, or other debris from surface subject to mulch blanket installation.
- Spread or drill seed.
- Consult with erosion control material supplier to select mulch blanket based on slope gradient, expected surface run-off, and protection term necessary (long or short term).
- Position selected mulch blanket as close as possible to intended use location.

Install blanket at top of slope, first anchoring toe in trench 6" wide X 6" deep, progressing down-slope or down-gradient with approximately 12" of blanket extended beyond the up-slope portion of the trench.

Anchor the blanket with staples/stakes placed approximately 12" apart in the bottom of the trench. Backfill and compact the trench after securing.

Apply seed to compacted soil and fold the 12" portion of the blanket over compacted area and secure with a row of staples/stakes placed 12" apart across the width of the blanket.

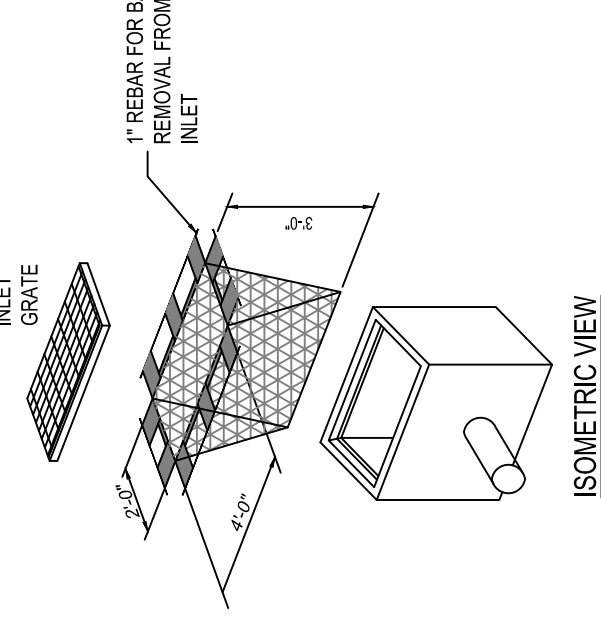
Unroll the blankets down or horizontally across the slope.
Overlap blanket edges by a minimum of 4" and blanket ends by a minimum of 12".
Overlaps should be in the direction of expected flow with the up-slope blanket placed over the down-slope blanket edge.

Secure down-slope end of blanket with staples/stakes and trench in.

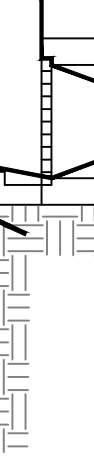
- Maintenance**
- Check after a rain event to ensure the blanket is still in place.
 - Keep eroded soil, vehicular and pedestrian traffic, and concentrated runoff away from the blanketed area.
- Limitations**
- Mulch blankets and anchors may inhibit mowing.

STORM DRAIN INLET PROTECTION - FABRIC DROP

NOT TO SCALE



ISOMETRIC VIEW



INSTALLATION DETAIL

When

- When sediment laden stormwater requires treatment before entering a stormwater drainage system.

Why

- To prevent sediment from entering stormwater systems.

Where

- Use in or at stormwater inlets, especially at construction sites or in streets.

How

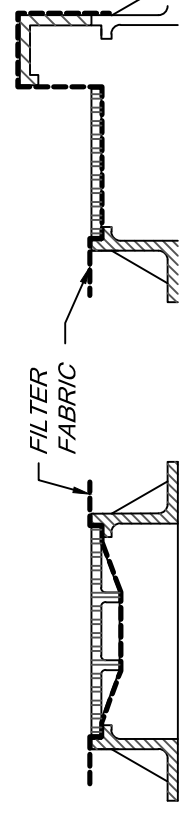
- A filter fabric bag is hung inside the inlet, beneath the grate.
- Replace grate, which will hold bag in place.
- Anchor filter bag with 1" rebar for removal from inlet.
- Flaps of bag that extend beyond the bag can be buried in soil in earth areas.

Maintenance

- Drop inlet filters should be inspected routinely and after each major rain event.
- Damaged filter bags should be replaced.
- Clean and/or replace filter bag when 1/2 full.
- Replace clogged fabric immediately.
- If needed, initiate repairs immediately upon inspection.
- Remove entire protective mechanism when upgradient areas are stabilized and streets have been swept.
- Can only accommodate small flow quantities.
- Requires frequent maintenance.
- Ponding may occur around storm drains if filter is clogged.

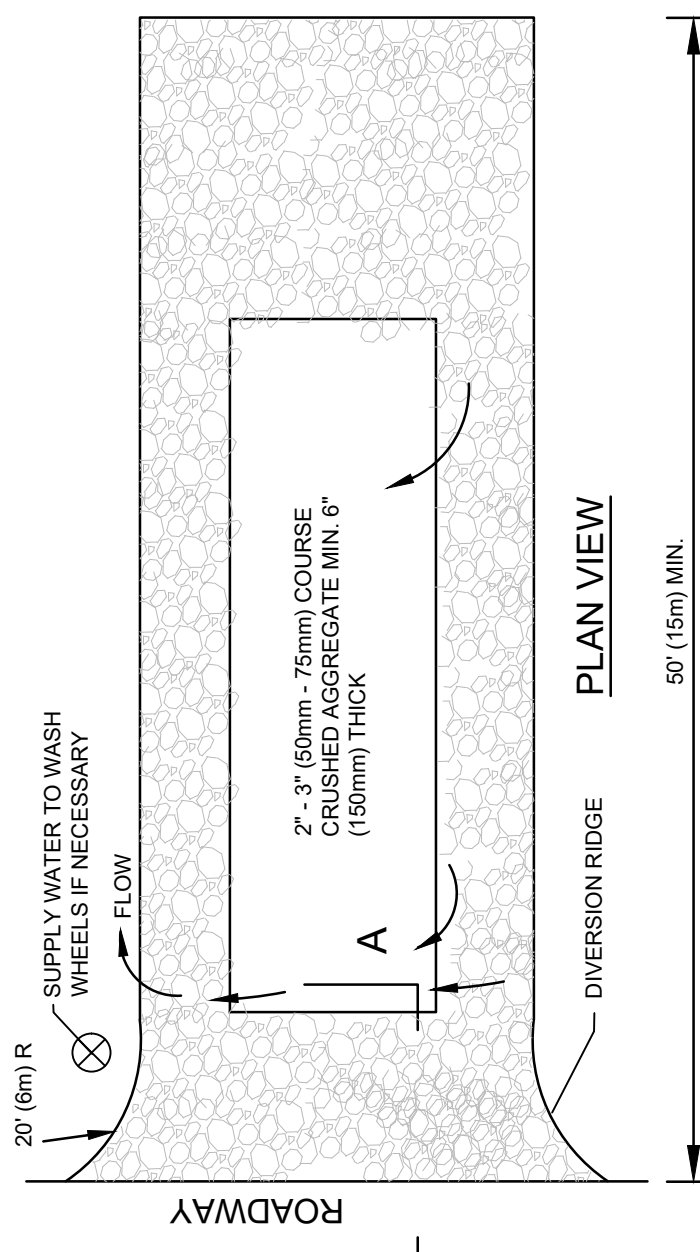
Limitations

WRAP THE FILTER FABRIC UNDER THE GRATE TO PROTECT FROM TRAFFIC AND PLANS FOR CURB CASTINGS. CONTINUE THE WRAP OVER THE CURB FACE AND BURY THE FABRIC ON THE BACK SIDE OF THE CURB. CONTRACTOR SHALL SECURE FABRIC PRIOR TO REMOVING THE GRATE TO AVOID SEDIMENT DEPOSITS FROM SPILLING INTO THE STRUCTURE.



CATCHBASIN SILT SACK DETAILS

NOT TO SCALE

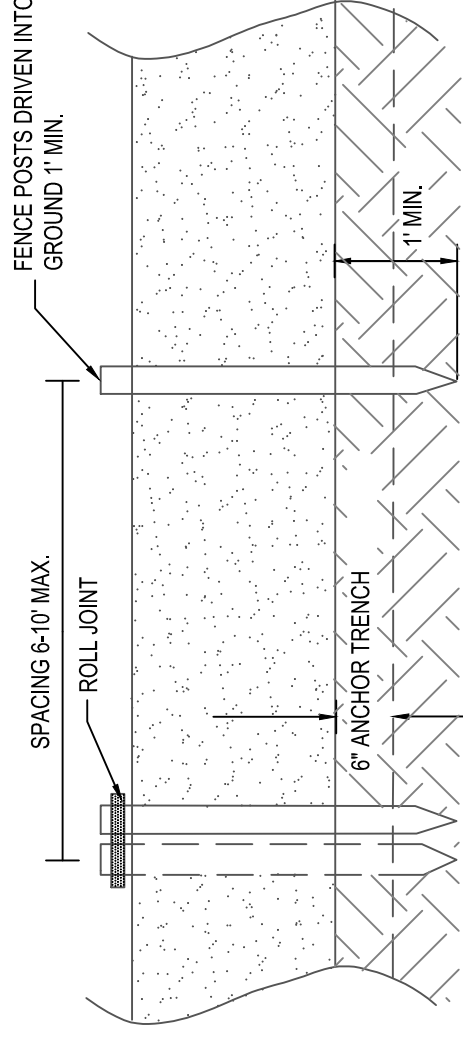


NOTES:

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR SPREADING OF SEDIMENT ONTO ADJACENT ROADWAY SURF. WHEELS SHOULD BE TOP-DRESSED, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED AGGREGATE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

SILT FENCE*

NOT TO SCALE



ROLL JOINTS

SILT FENCE A

SILT FENCE B

FABRIC TO BE WRAPPED AROUND FENCE POST

GEOTEXTILE FILTER FABRIC FASTENED ON UPHILL SIDE TOWARDS EARTH DISRUPTION

RIDGE OF COMPACTED EARTH ON UPHILL SIDE OF FILTER FABRIC

SHEET FLOW

UNDISTURBED VEGETATION

1\"/>

6\"/>

When

- A temporary measure for preventing sediment movement.

Why

- Used to prevent sediment suspended in runoff from leaving an earth change area.

Where

- Use adjacent to critical areas, wetlands, base of slopes, and watercourses.

How

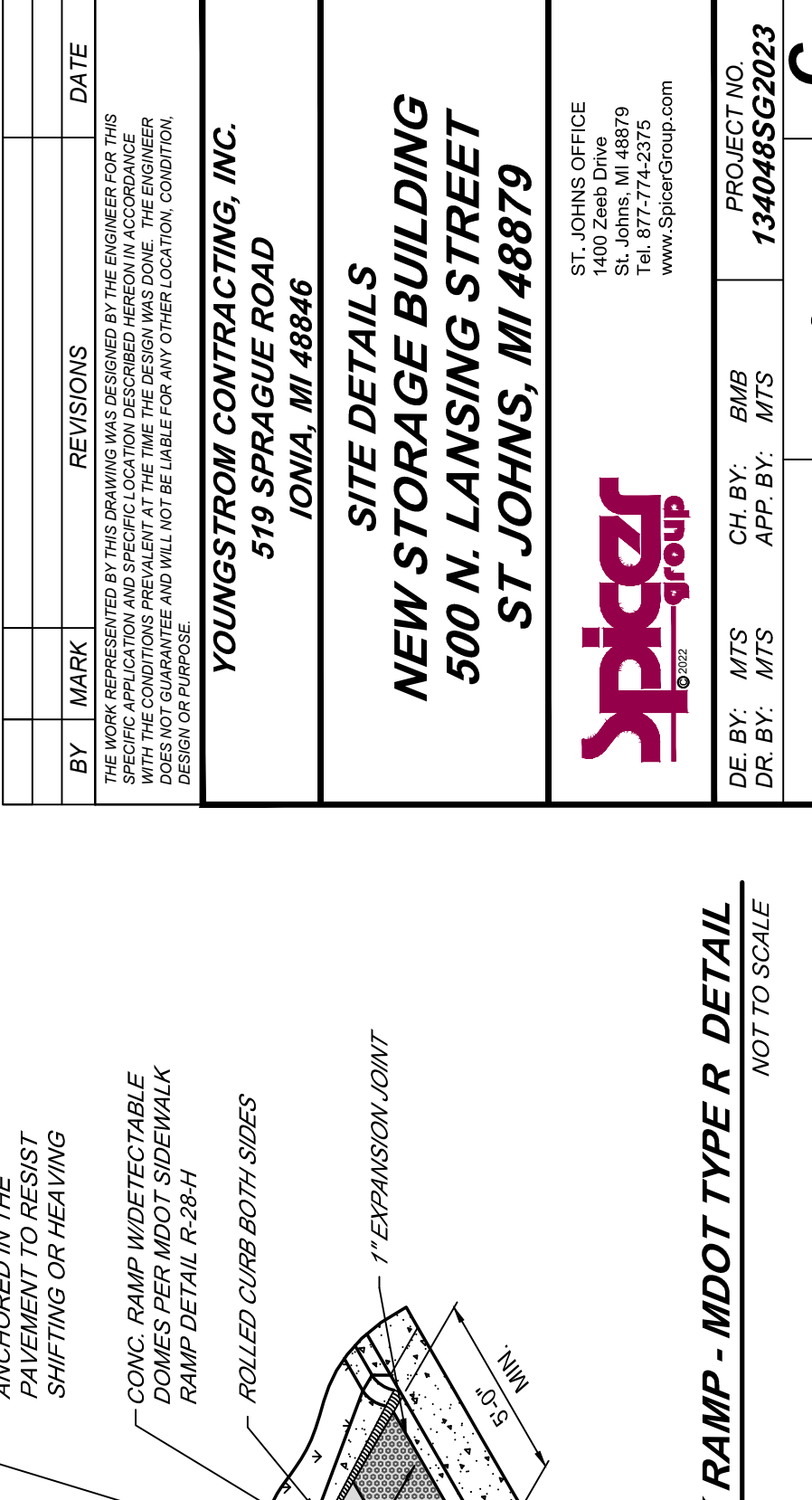
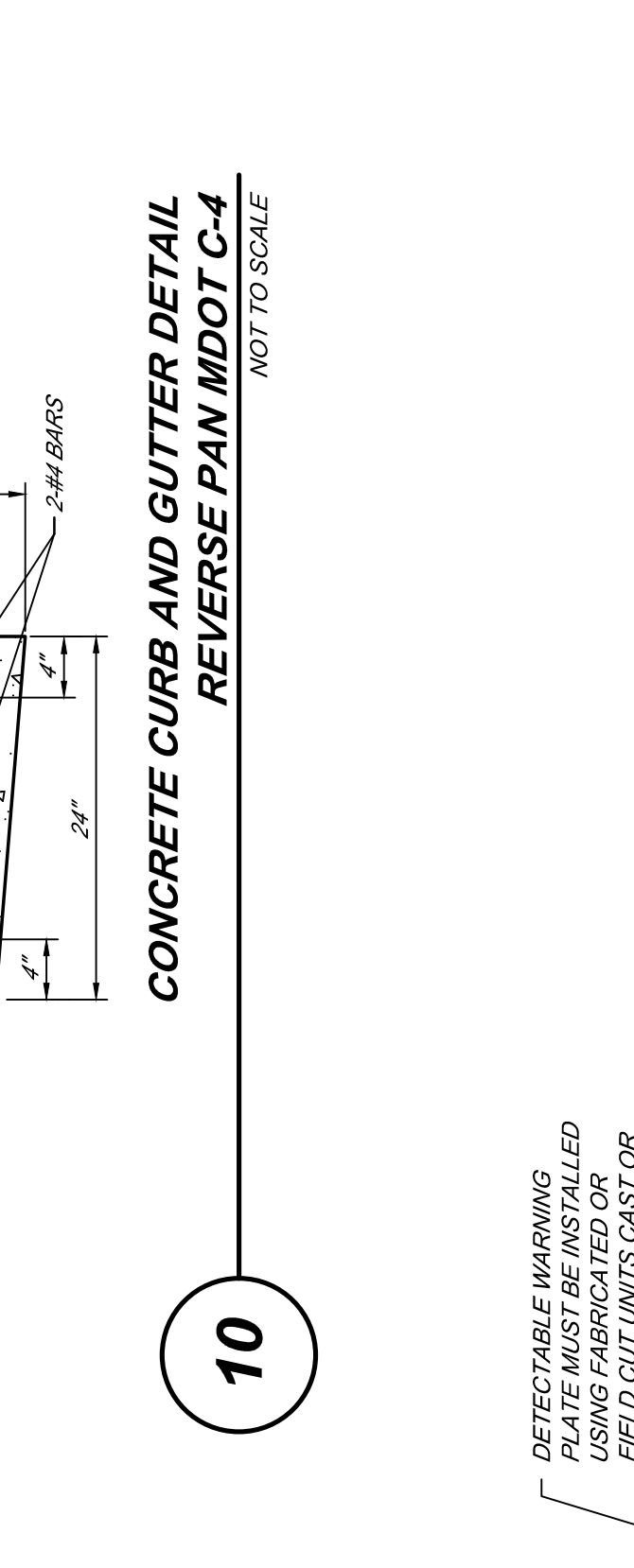
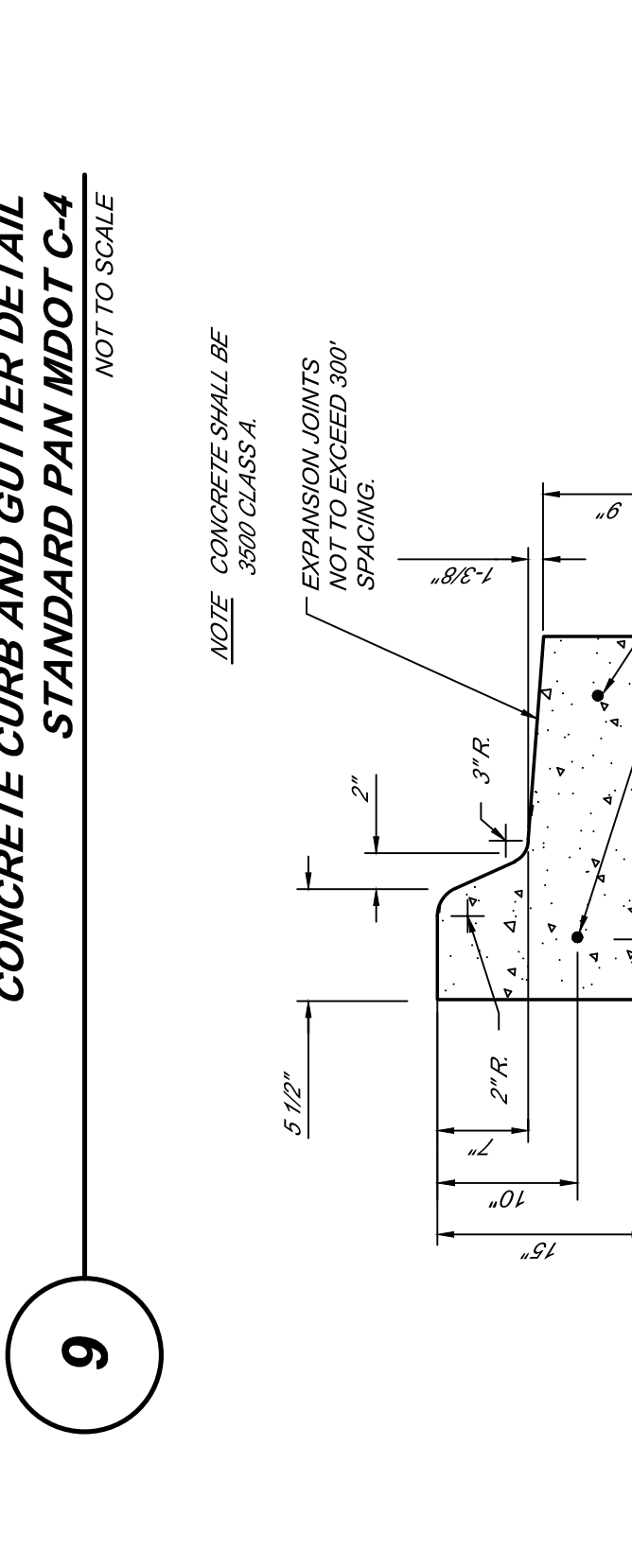
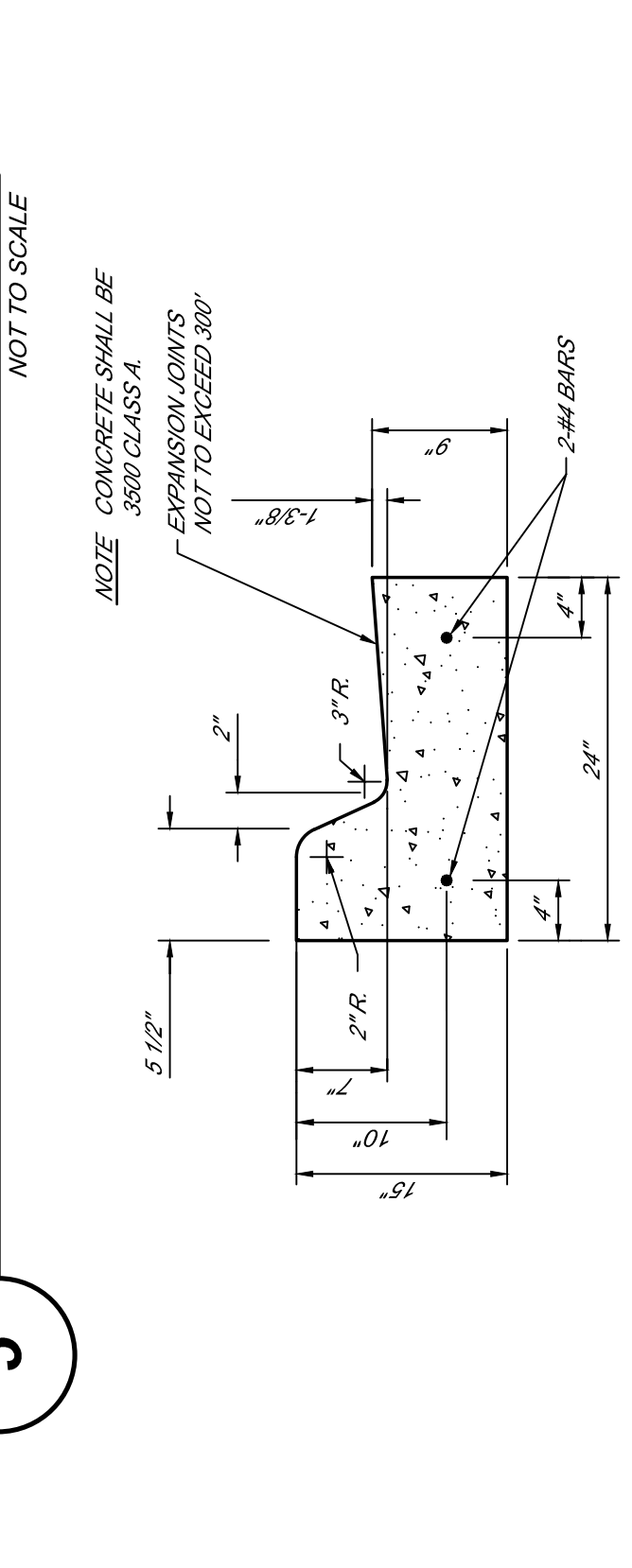
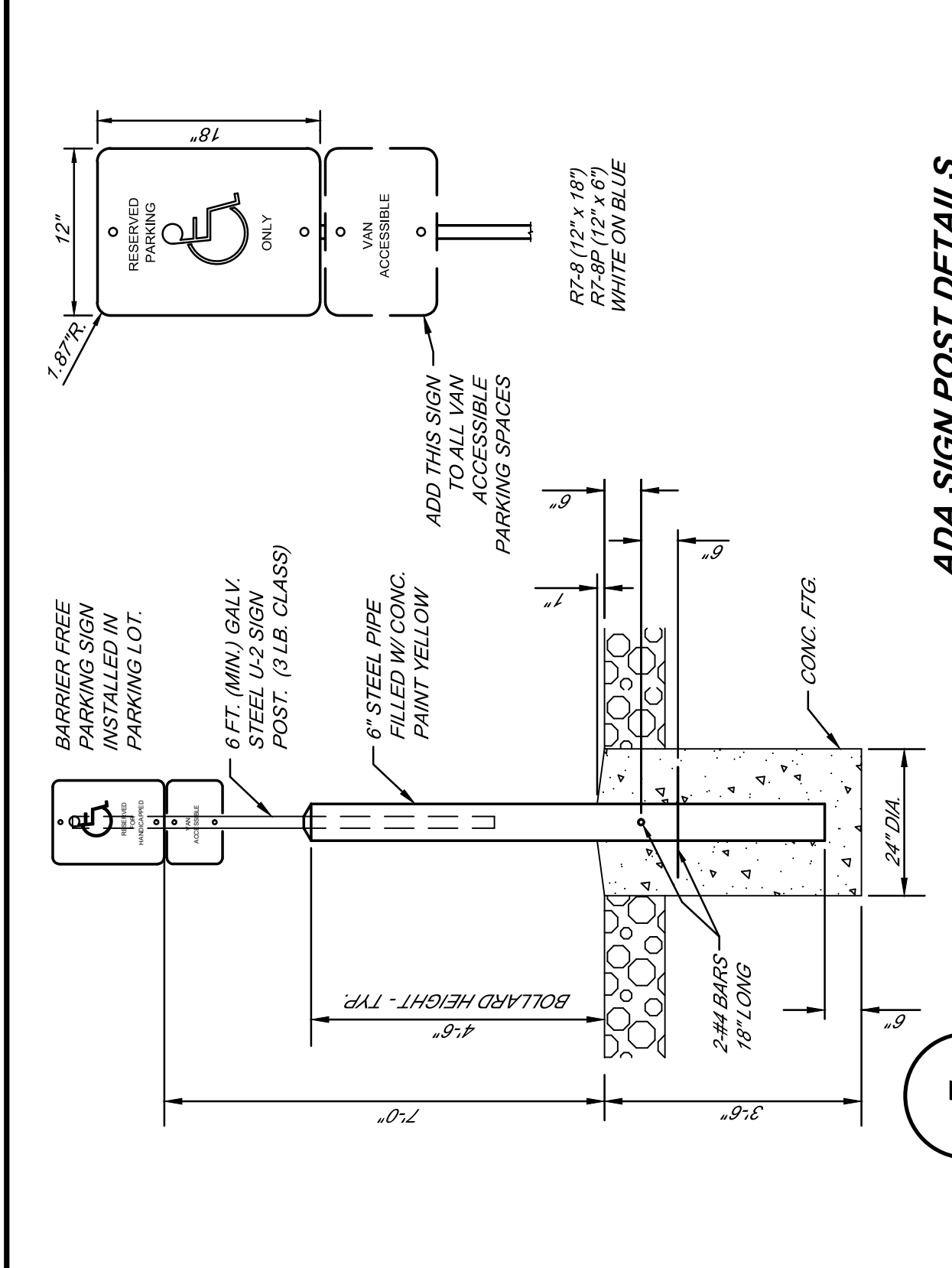
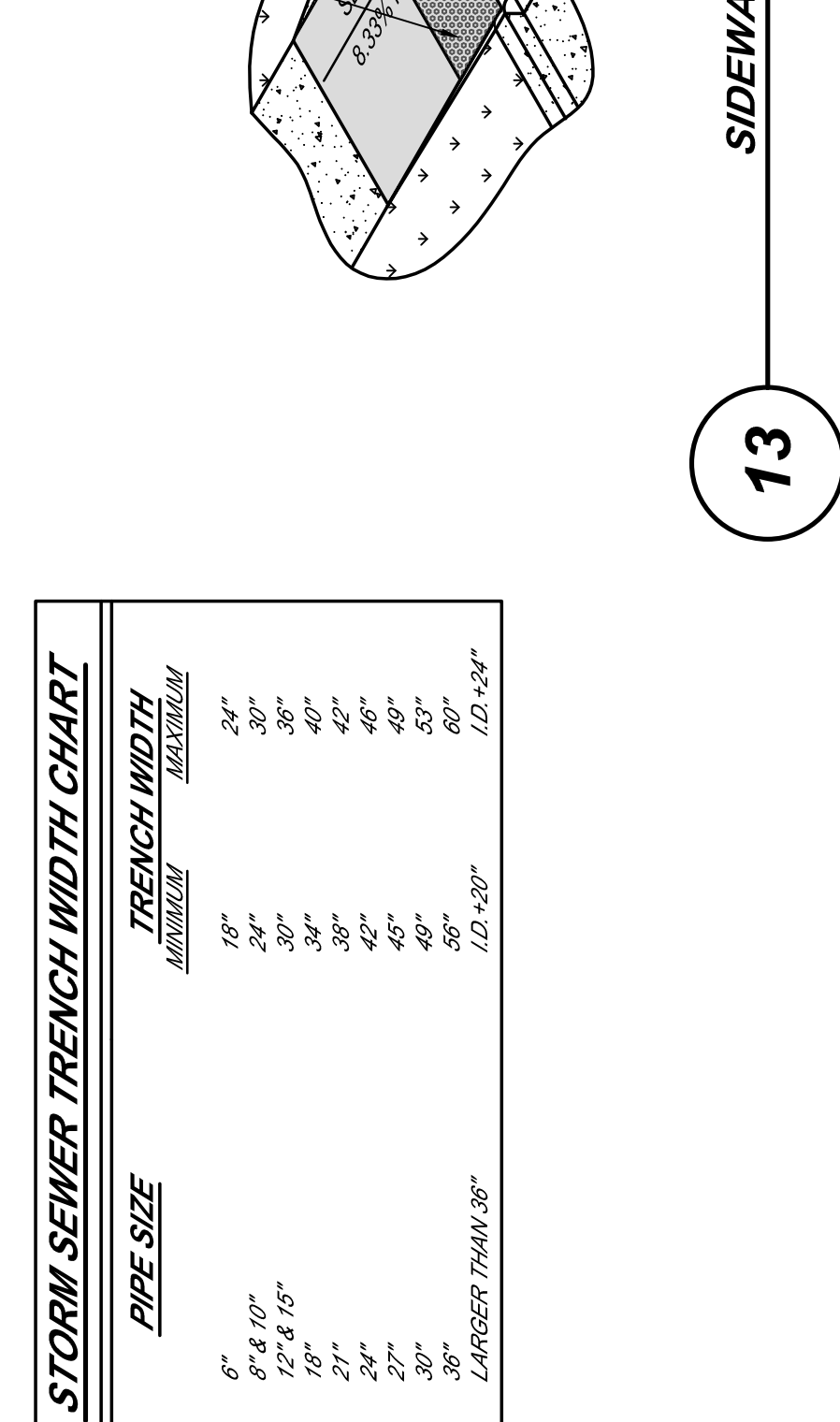
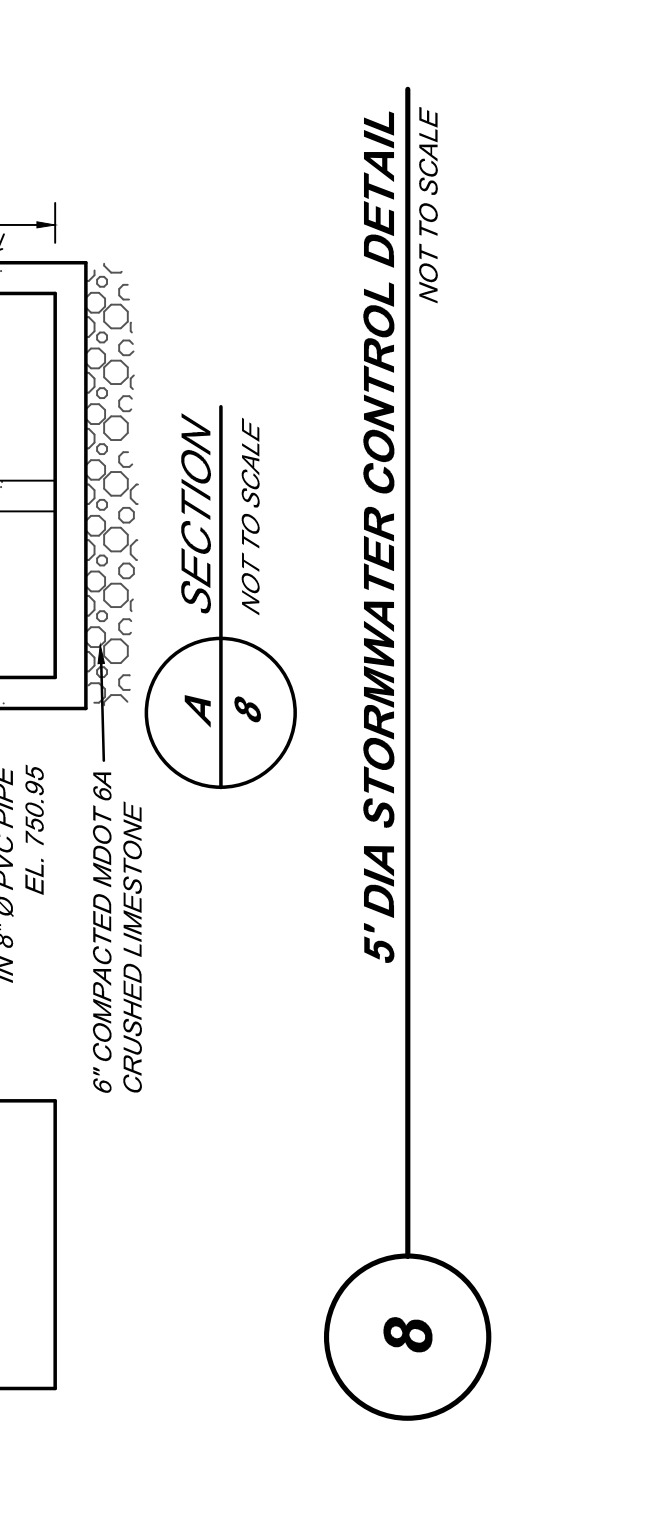
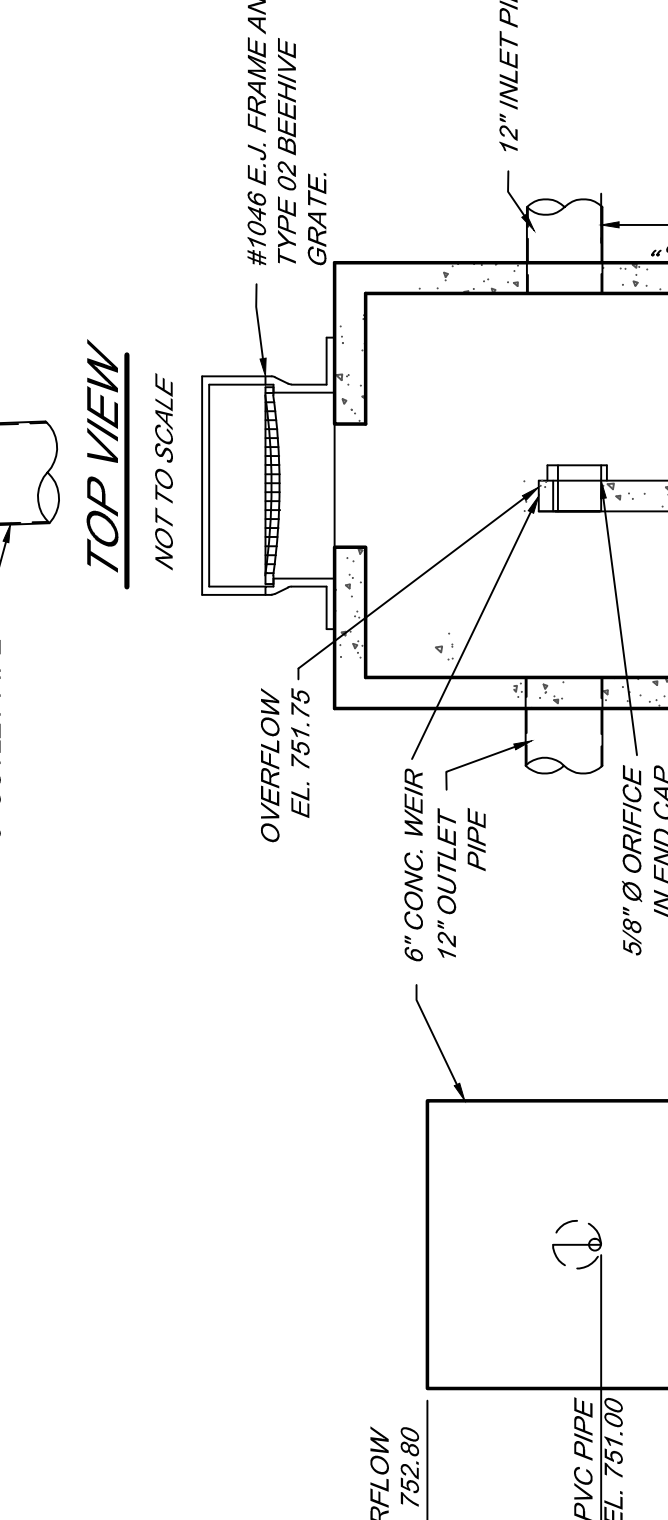
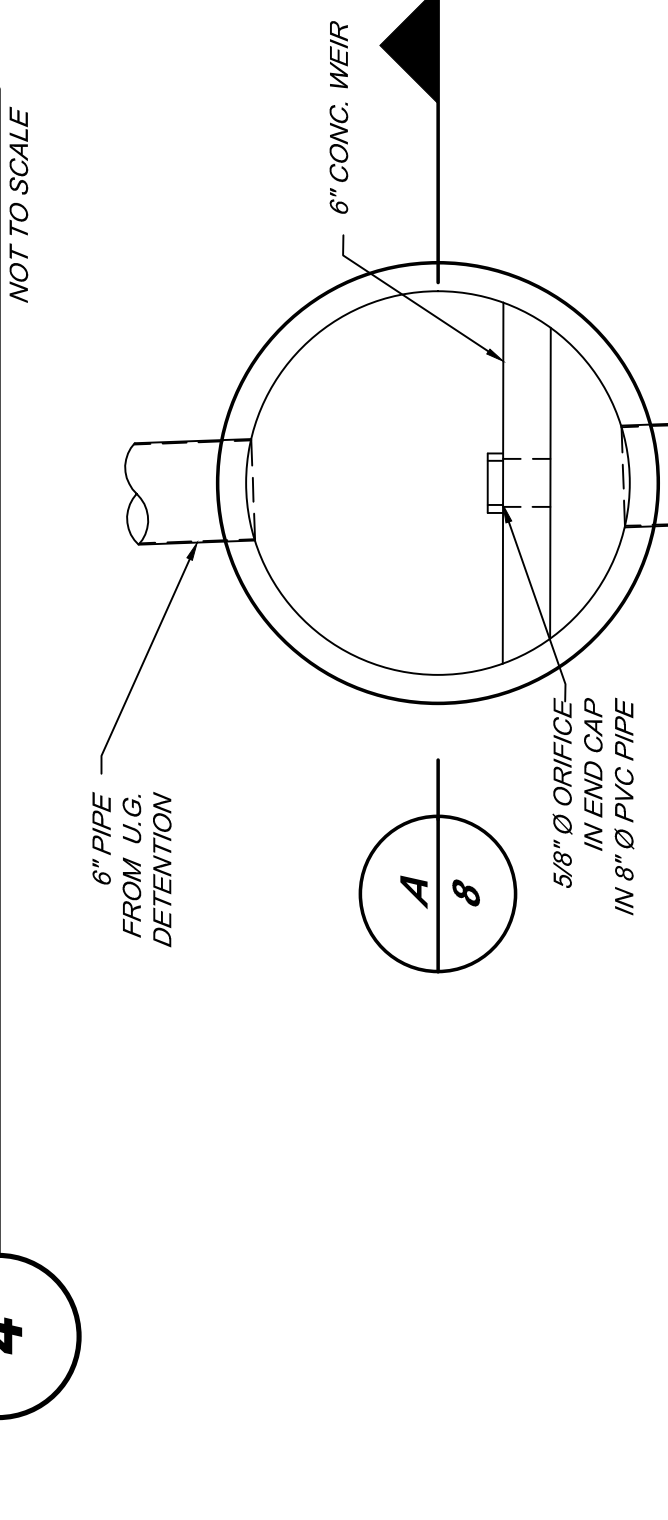
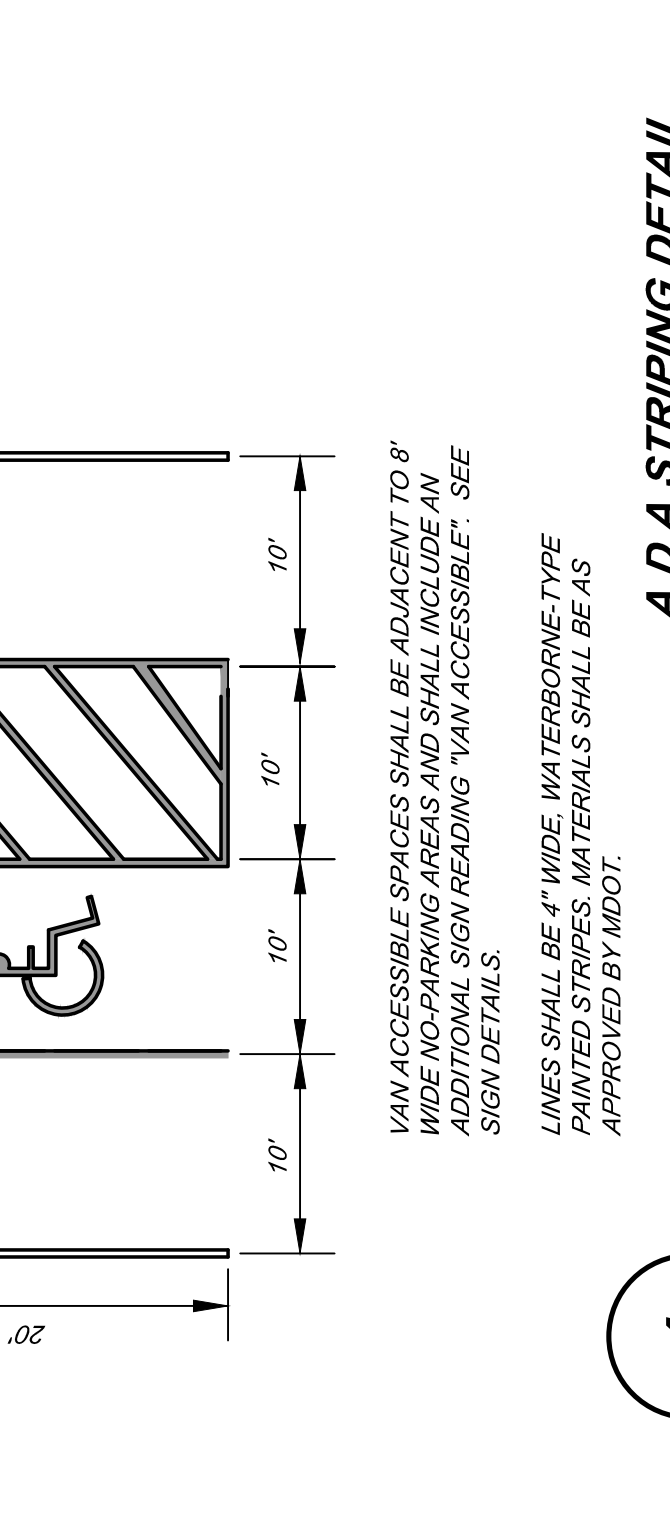
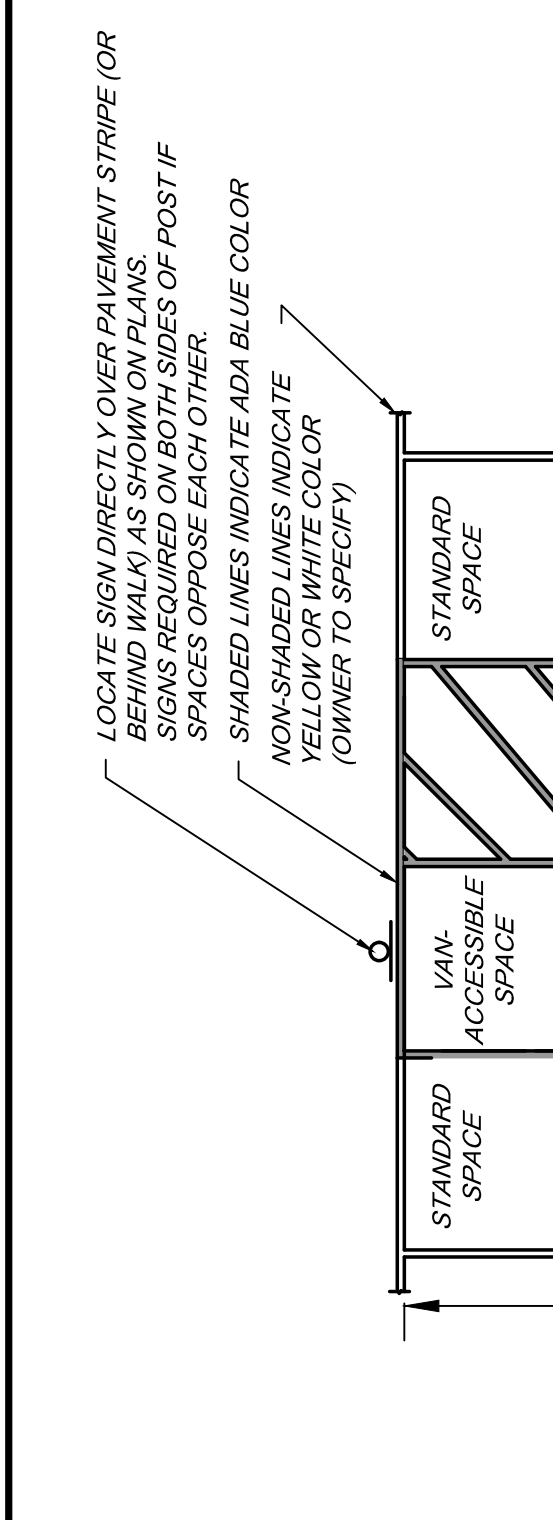
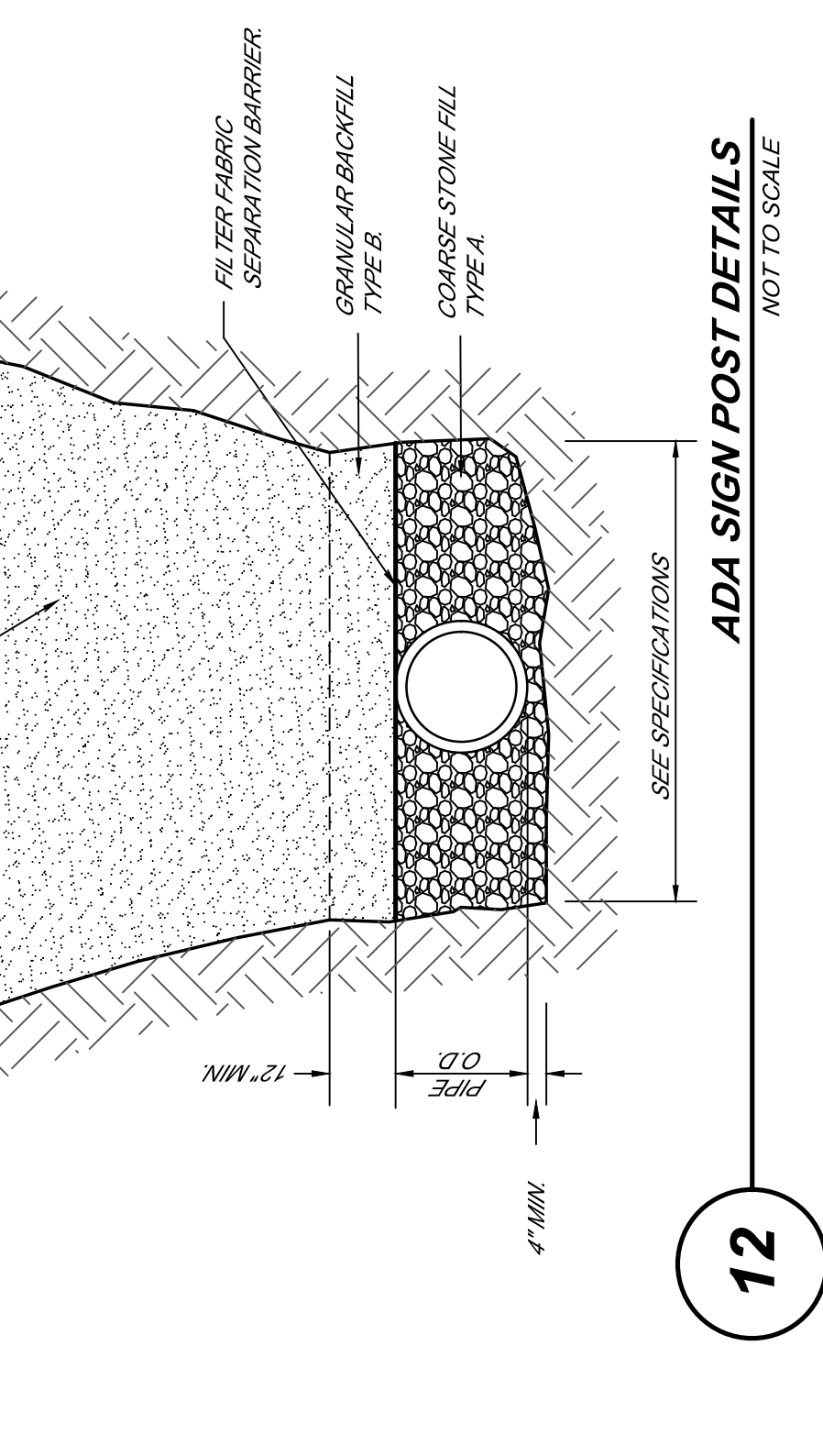
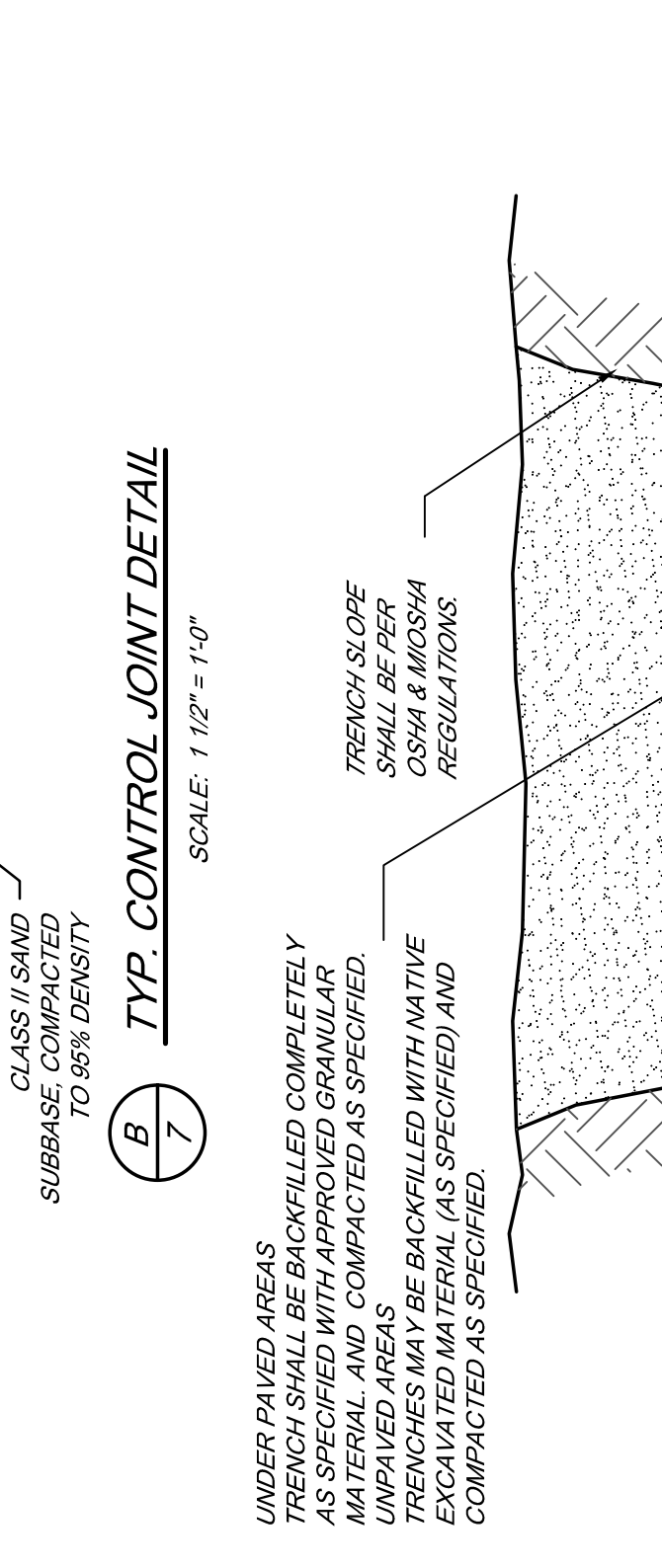
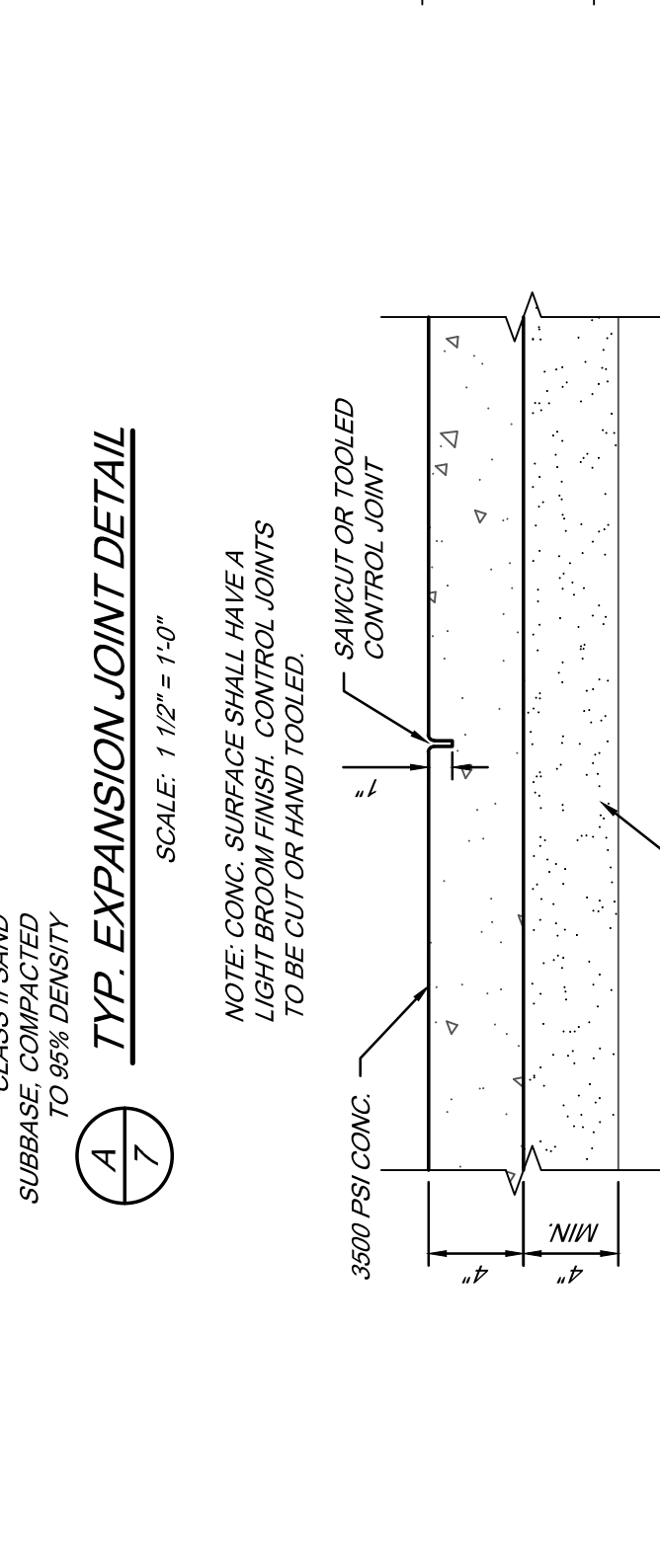
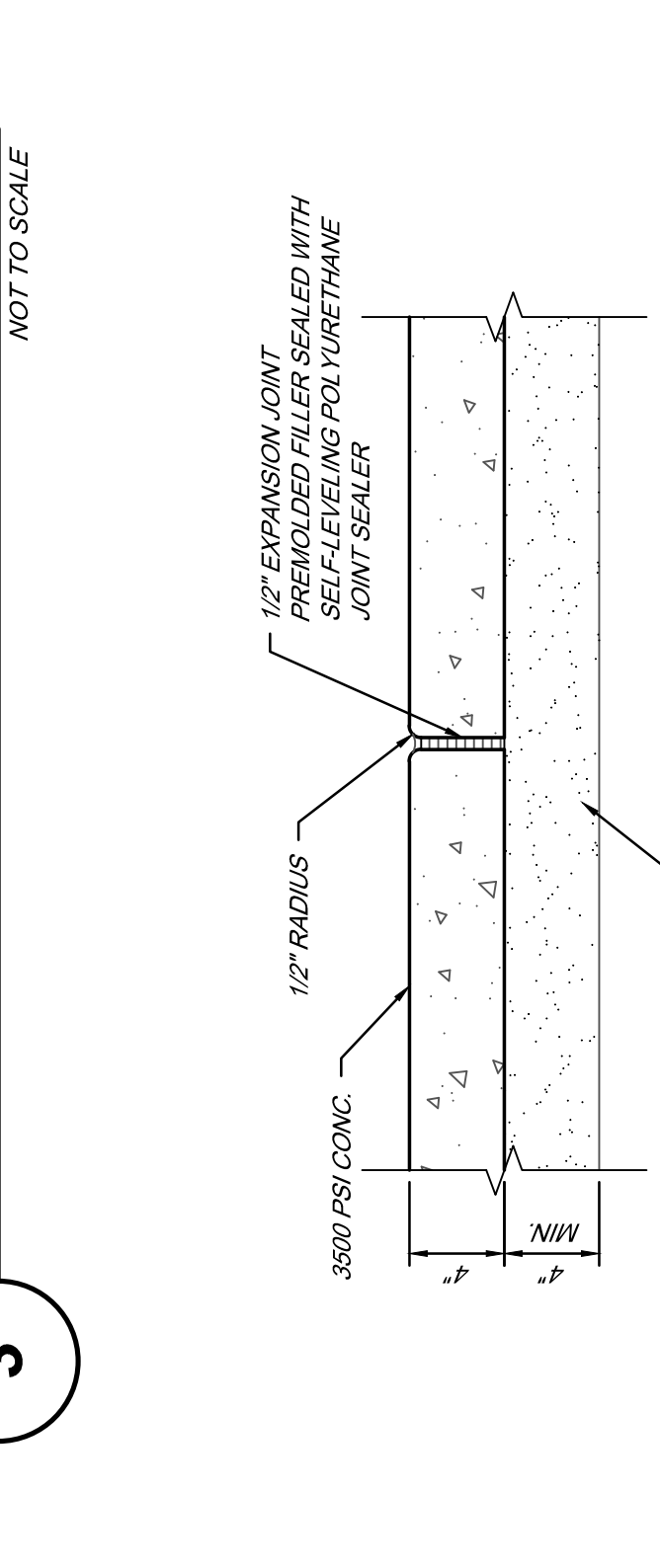
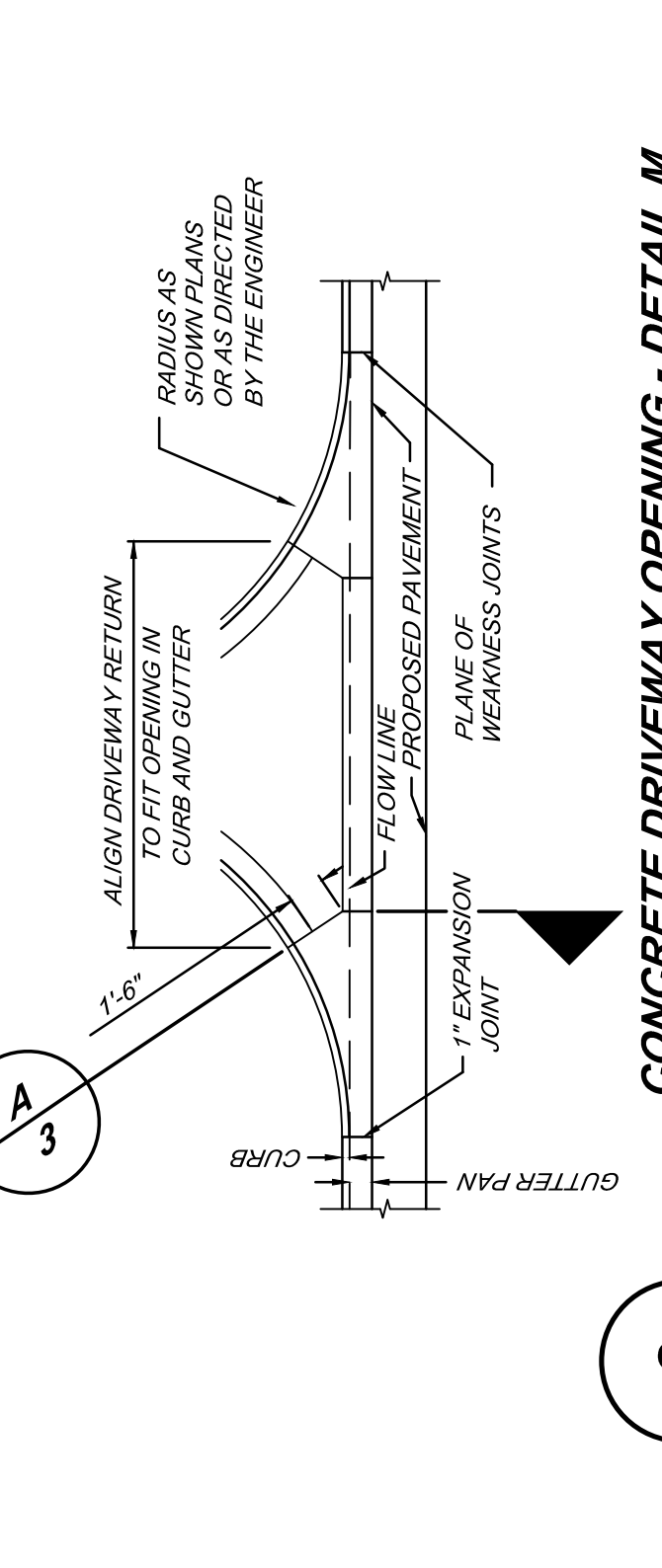
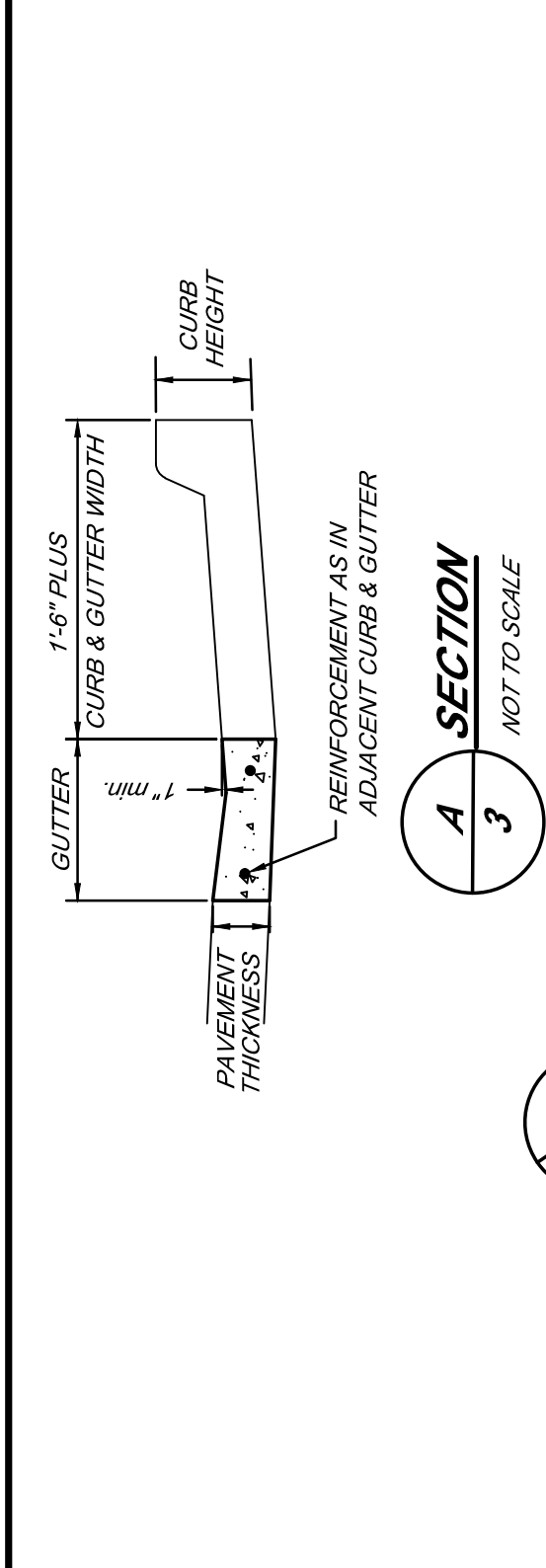
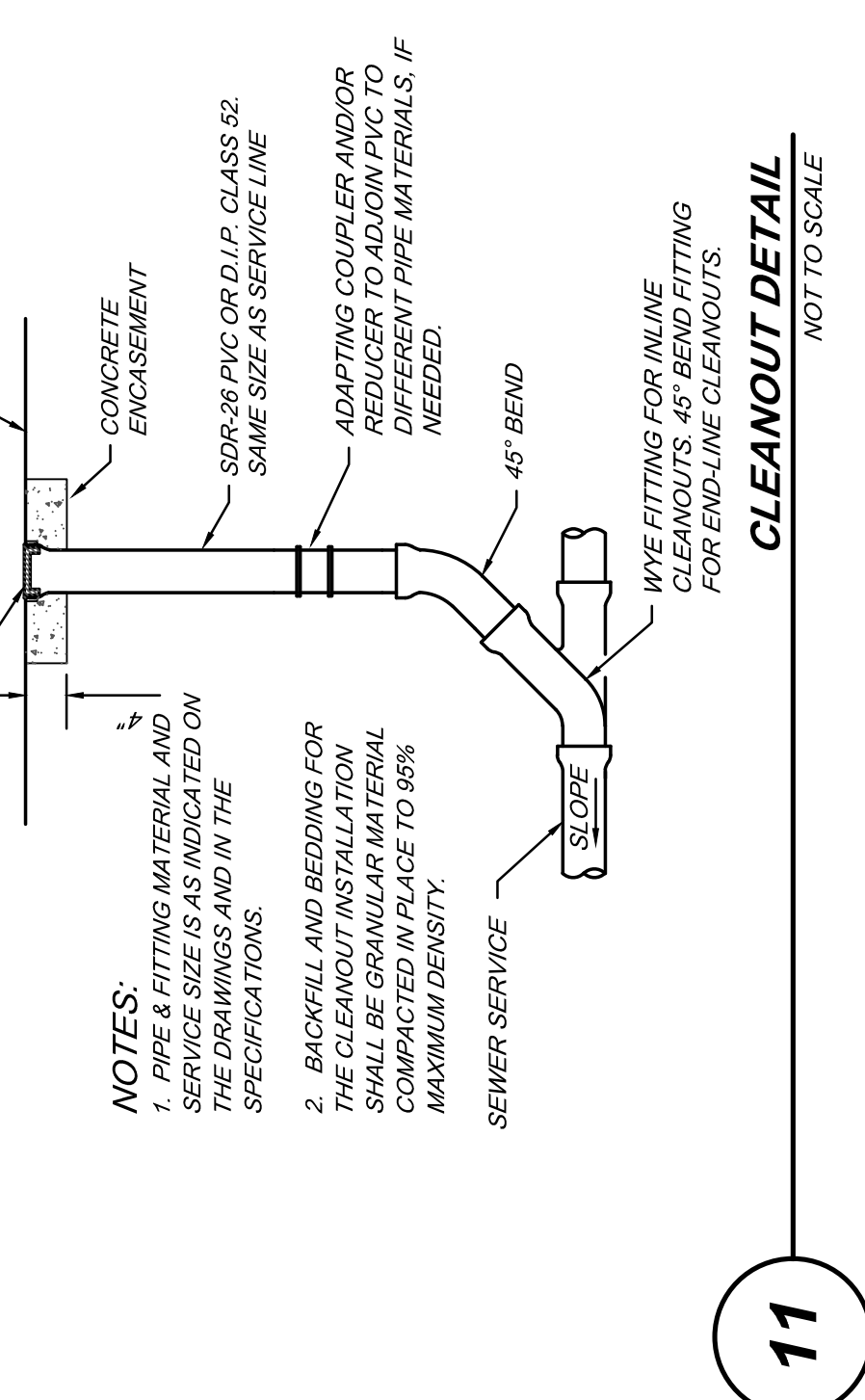
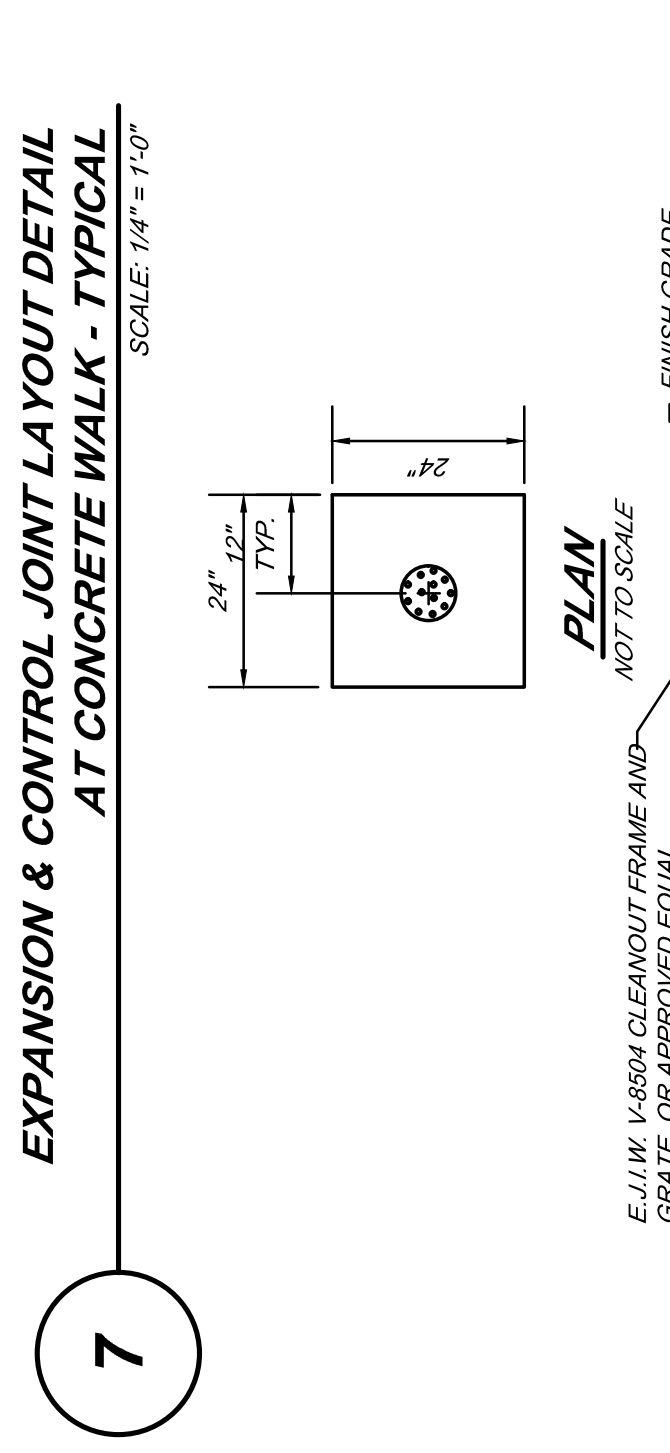
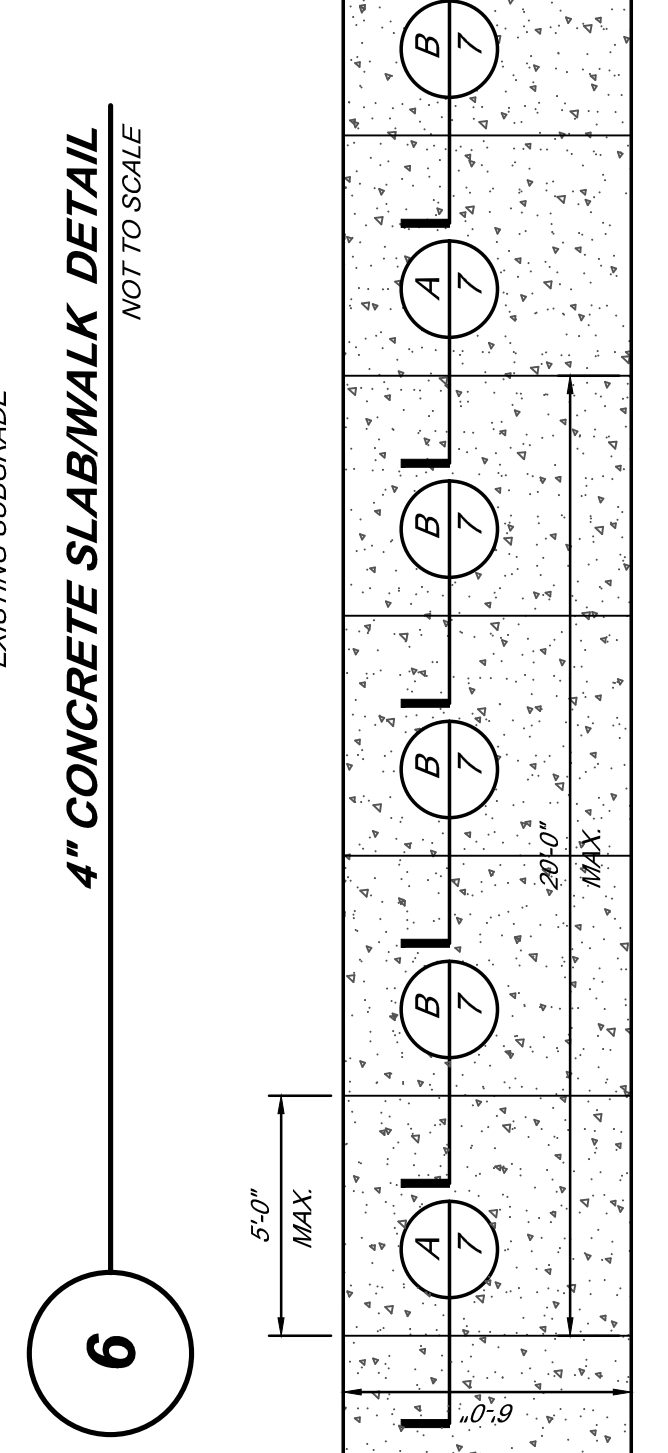
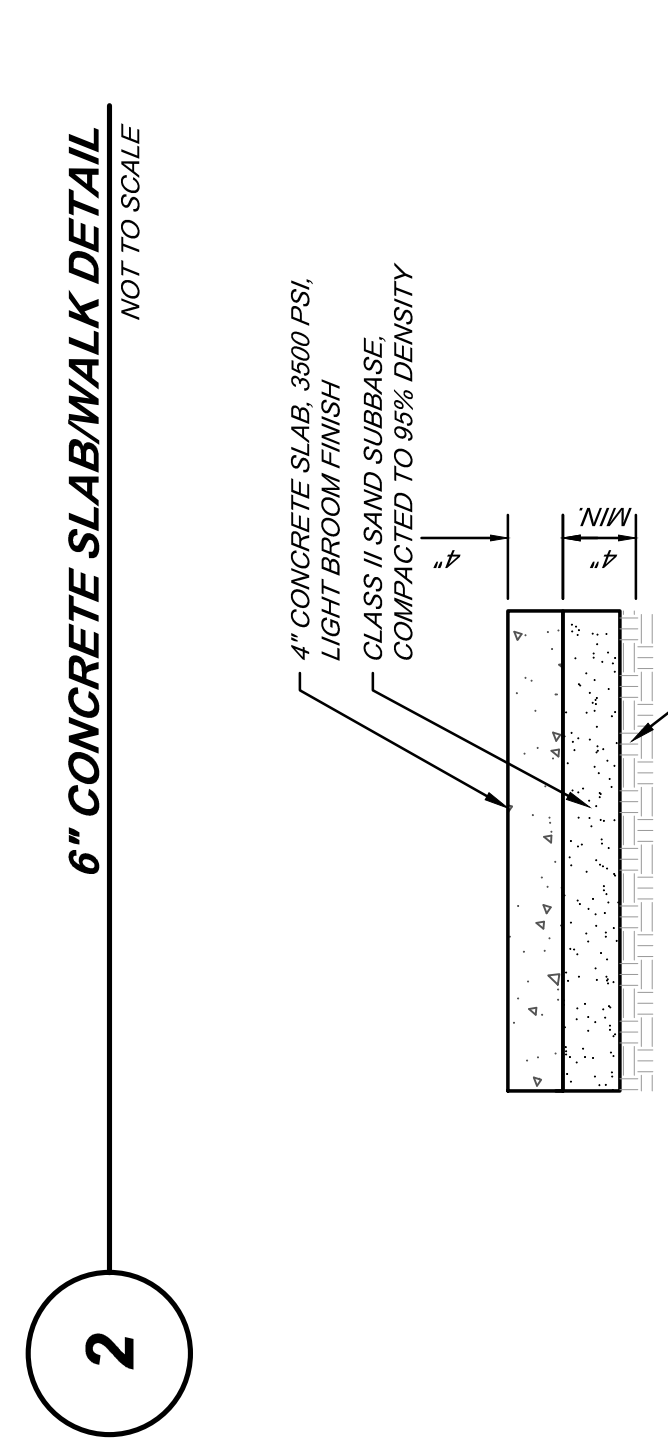
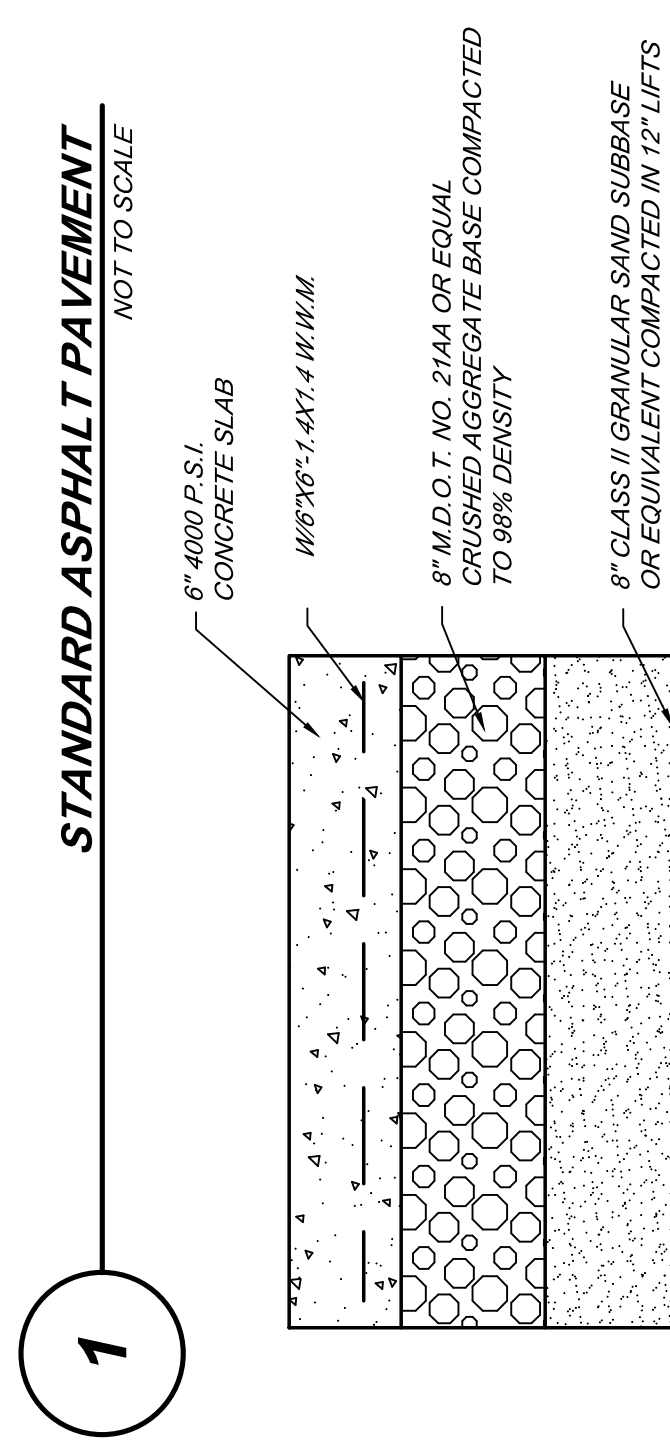
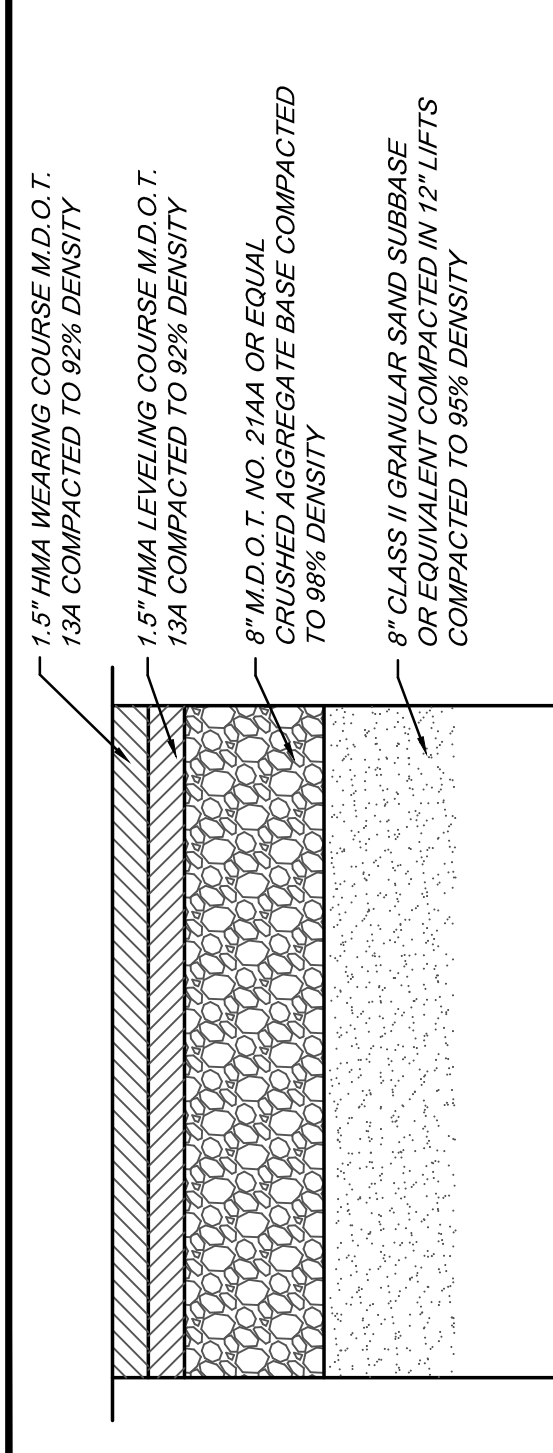
- Install parallel to a contour.
- The silt fence should be made of woven geotextile fabric.
- Silt fence should accommodate no more than 1/2 to 1 acre of drainage per 100' of fence and on slopes less than 1:2 (v:h).
- Dig a 6" trench along the area where the fence is to be installed.
- Place 6" of the silt fence bottom flap into the trench.
- Backfill the trench with soil and compact the soil on both sides. Create a small ridge on the up-slope side of the fence.
- Install wooden stakes 6 - 10' apart and drive into the ground a minimum of 12".
- Staple the geotextile fabric to the wooden stakes.
- Join sections of silt fence by wrapping ends together. (See drawing).
- Inspect frequently and immediately after each storm event. Check several times during prolonged storm events. If necessary, repair immediately.
- If the sediment has reached 1/3 the height of the fence, the soil should be removed and disposed of in a stable upland site.
- The fence should be reinstalled if water is seeping underneath it or if the fence has become ineffective.
- Silt fence should be removed once vegetation is established and up-slope area has stabilized.

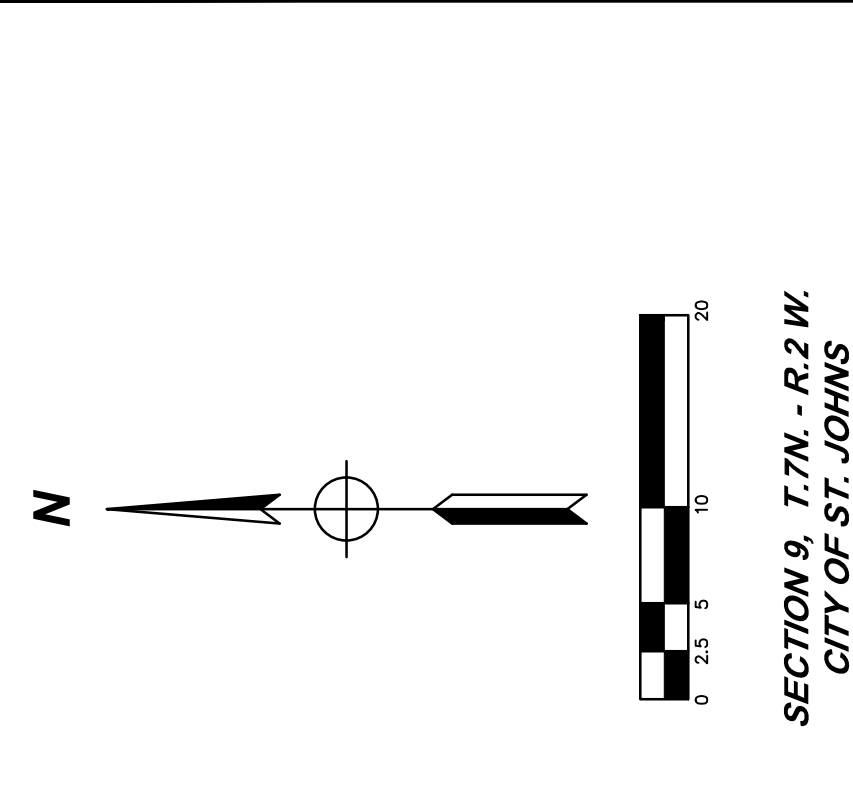
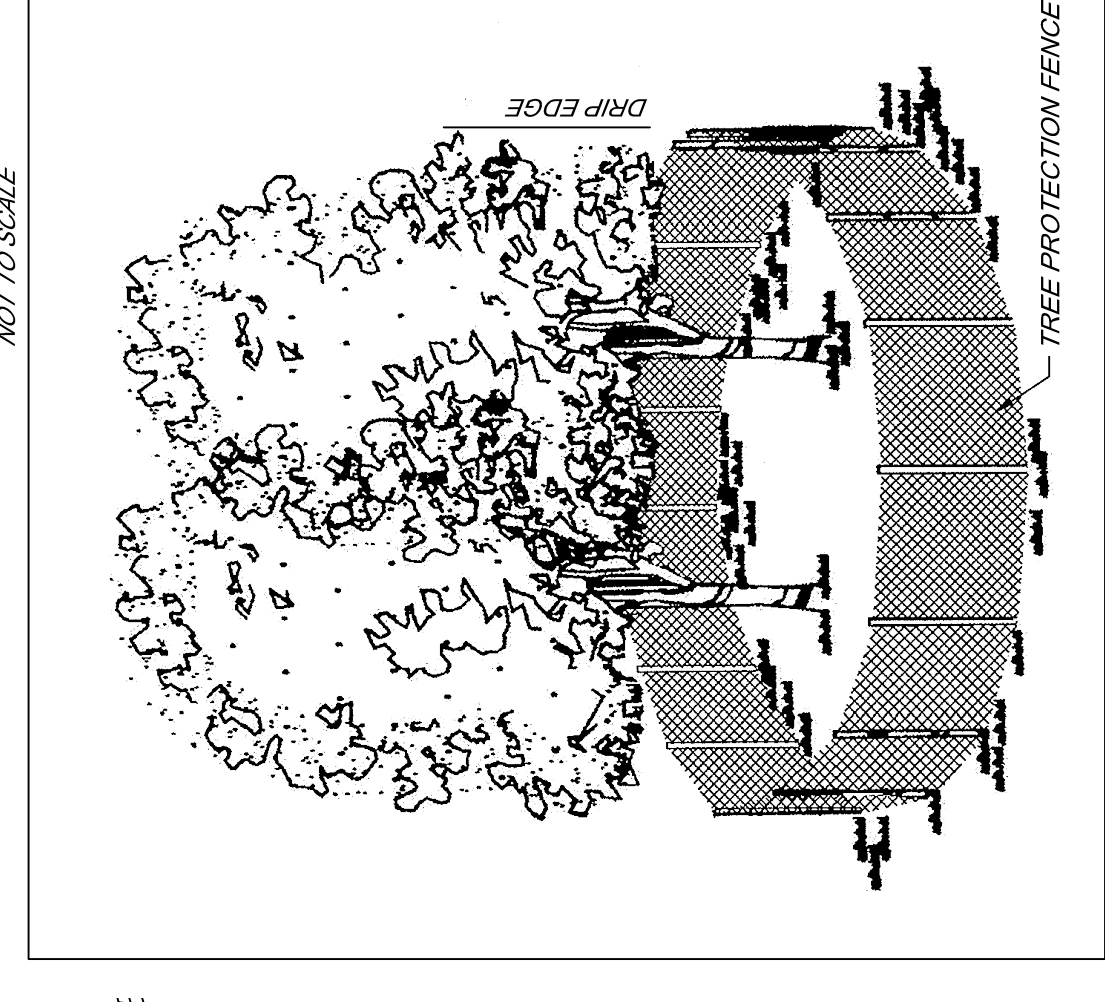
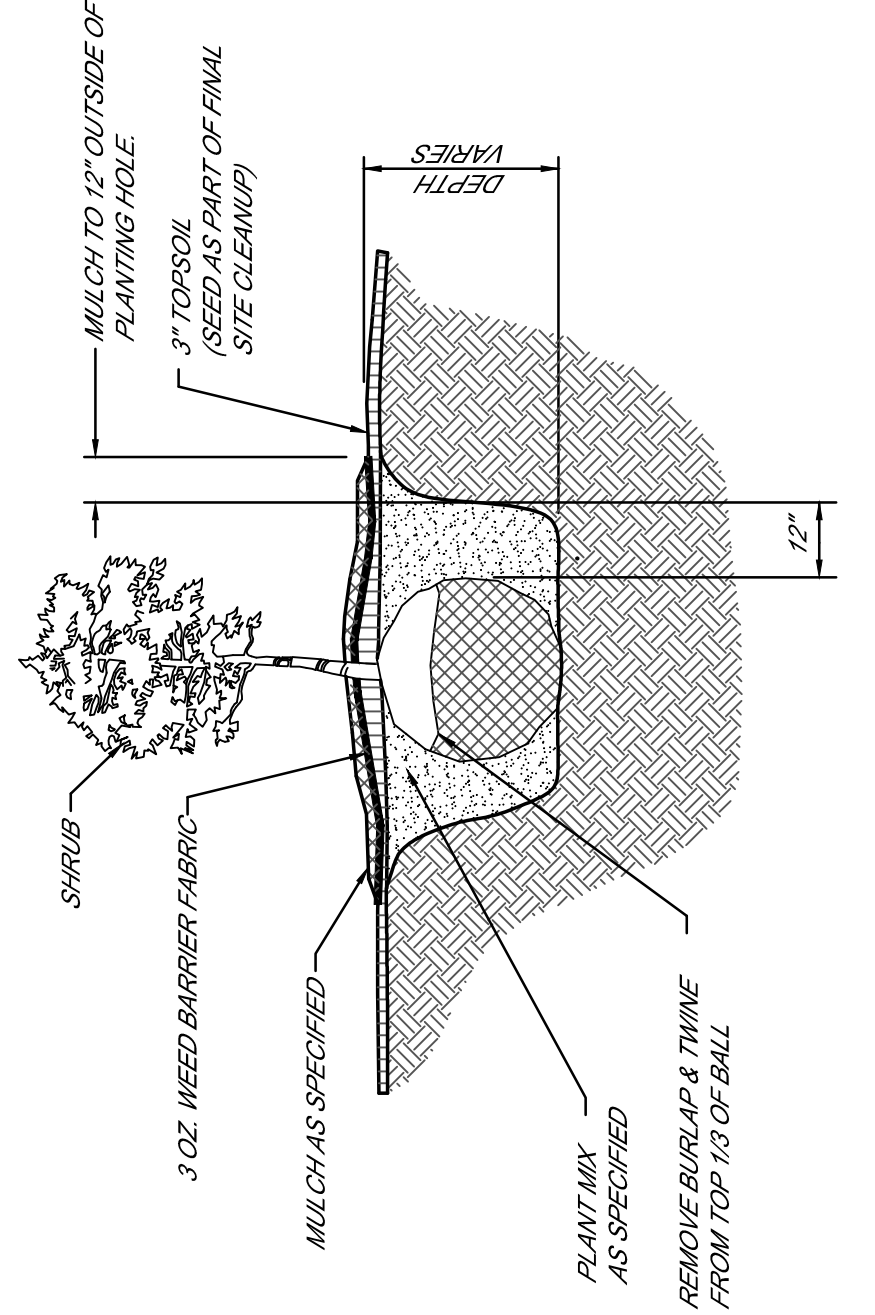
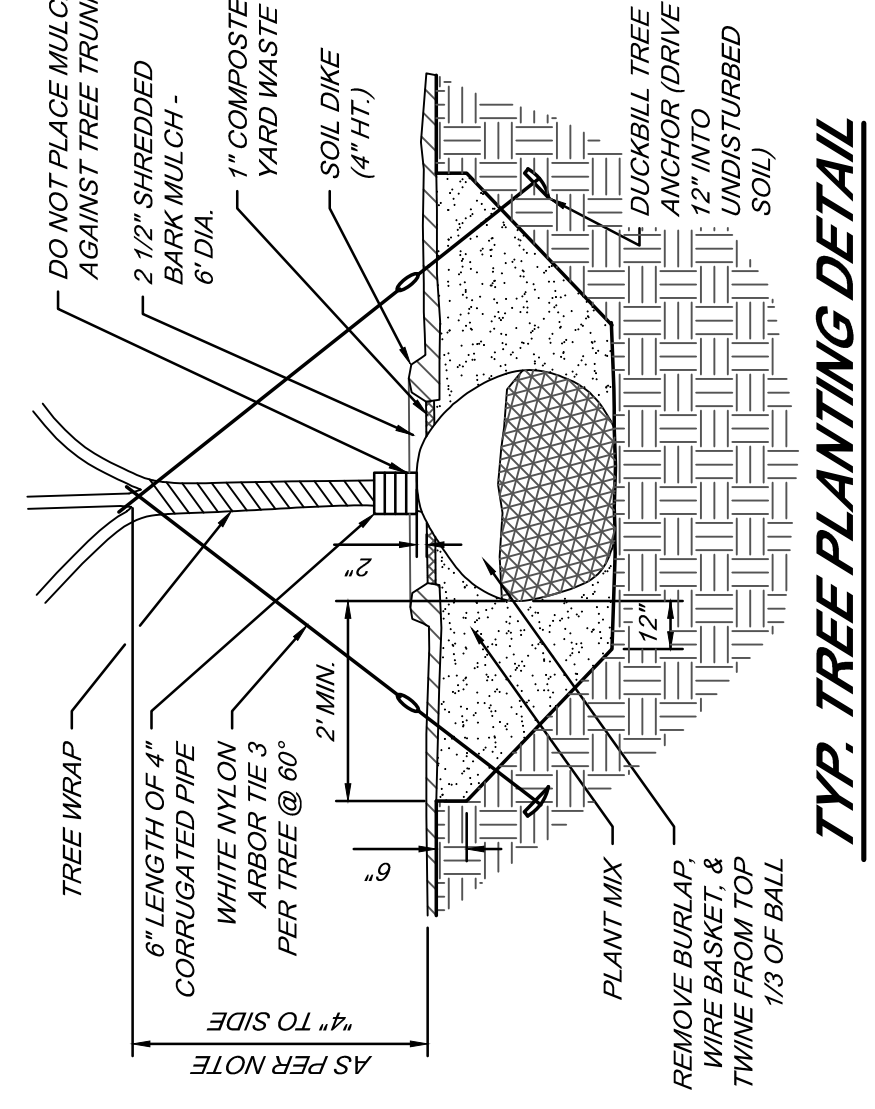
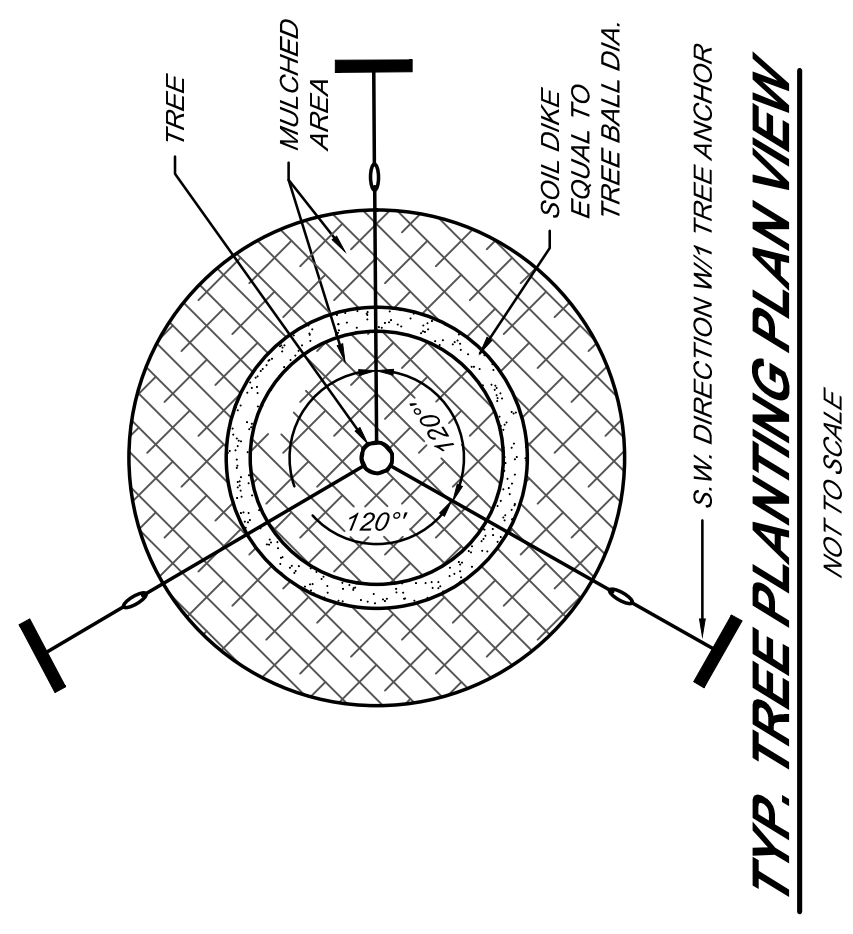
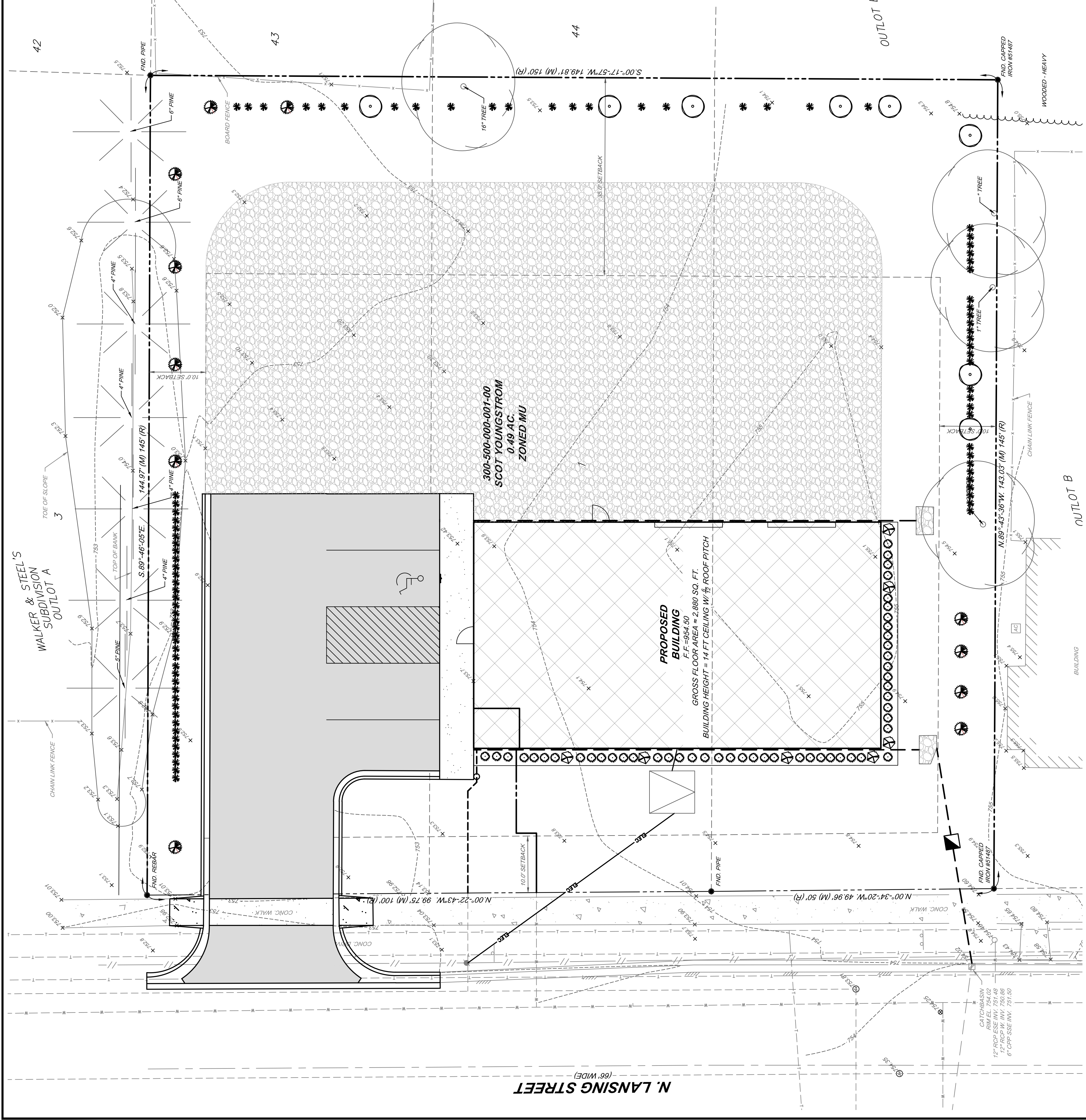
Maintenance

- Silt fence may cause temporary ponding and could fail if too much water flows through the area.
- Do not use in areas with concentrated flows.
- Chance of failure increases if fence is installed incorrectly or if sediment accumulation is not removed.

Limitations

PROFILE VIEW SECTION A-A





SECTION 9, T.7N. - R.2 W.
CITY OF ST. JOHNS
CLINTON COUNTY, MICHIGAN

LANDSCAPING NOTES:
LANDSCAPE STONES SHALL BE WASHED RIVER STONES 2" TO 3" DIA. INSTALLED OVER 3 OZ. WEED BARRIER FABRIC.
FOR ALL INTERIOR LANDSCAPE ISLANDS.
HARDWOOD MULCH SHALL CONSIST OF SHREDDED MAPLE AND OAK INSTALLED OVER 3 OZ. WEED BARRIER FABRIC.
INSTALL 3" DEEP OVER 3 OZ. WEED BARRIER FABRIC.
INSTALL AROUND ALL TREES AND AREA BETWEEN CURB & GUTTER AND WALK ALONG BAUM STREET FENCE AND ENTRANCE ISLANDS.
THE REMAINDER OF THE SITE SHALL BE HYDROSEED AND MULCHED.

LANDSCAPING CALCULATIONS

LANDSCAPING REQUIREMENTS:
- 1 CANOPY TREE PER 8 PARKING STALLS (FOR PARKING LOTS THAT EXCEED 16 SPACES)
- 106 SPACES / 8 SPACES = 24 TREES
EXISTING PRESERVED TREE CREDIT:
PRESERVED TREE CALIPER (INCHES) # OF TREES TO BE CREDITED
12" AND OVER 1
8" TO 11.99" 0
2" TO 7.99" 3
TREES @ 3 CREDITS = 3
0 TREES @ 2 CREDITS = 0
3 TREES @ 1 CREDIT = 3
TOTAL TREE CREDIT = 7

LANDSCAPING PROVIDED:
EXISTING TREE CREDIT = 7 TREES
PROPOSED = 26 TREES
PROPOSED - 85 SHRUBS
TOTAL TREES = 33

EXISTING LANDSCAPE LEGEND

- * EVERGREEN TREE
- SHRUB
- DECIDUOUS TREE
- TREE LINE

PROPOSED LANDSCAPE LEGEND

- DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- SHRUB
- ORNAMENTAL GRASS
- PERENNIAL

TREE PLANTING GENERAL NOTES:

1. GUY TREES AS FOLLOWS: < 3" TREES USE 1/4" NYLON DUCKBILL ANCHOR; 3" - 5" TREES USE 3/8" NYLON DUCKBILL ANCHOR; > 5" TREES USE LARGE DUCKBILL ANCHOR.
2. PRUNE TO THIN & SHAPE CANOPY. REMOVE BROKEN, CROSSING, AND WEAK BRANCHES.
3. SET TOP OF BALL TO 2" ABOVE FINISH GRADE OF SURROUNDING SOIL.
4. STAYS OR GUYS TO BE SET ABOVE FIRST BRANCH OR 50% OF TREE HEIGHT, WHICHEVER IS GREATER. EVERGREEN TO BE GUYED AT 2/3 OF TREE HEIGHT.
5. ANCHORS TO EXTEND 12" INTO UNDISTURBED SOIL.

BY	MARK	REVISIONS	DATE

DESIGNED BY: MTS
DRAWN BY: MTS
CHECKED BY: BMB
APPROVED BY: MTS

DESIGNED BY: MTS
DRAWN BY: MTS
CHECKED BY: BMB
APPROVED BY: MTS

PROJECT NO. 1340485G2023
SHEET 9 OF 9
DATE May 15, 2023
SCALE 1" = 10'

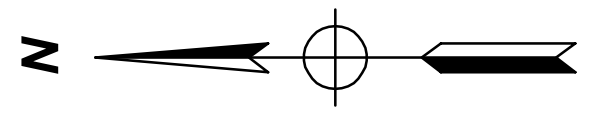
ST. JOHNS OFFICE
ST. JOHNS, MI 48879
Tel: 977-774-2375
www.sjpsgroup.com

spjps
group

LANDSCAPE PLAN
NEW STORAGE BUILDING
500 N. LANSING STREET
ST JOHNS, MI 48879

YOUNGSTROM CONTRACTING, INC.
519 SPRAGUE ROAD
JOMIA, MI 48846

SECTION 9, T.7 N. - R.2 W.
CITY OF ST. JOHNS
CLINTON COUNTY, MICHIGAN



SCALE: 1" = 10'
Contour Interval = 1 foot

LEGEND

- MANHOLE
- CATCHBASIN
- CURB CATCHBASIN
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ TELEPHONE POLE
- ⊕ POWER AND TELEPHONE POLE
- ⊕ GUY ANCHOR AND POLE
- ⊕ LIGHT POLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ ELECTRICAL PEDESTAL
- ⊕ CABLE TV PEDESTAL
- ⊕ SIGN
- ⊕ SPRINKLER
- ⊕ RAILROAD SIGNAL
- ⊕ TRANSFORMER
- ⊕ BARRIER FREE PARKING
- ⊕ BITUMINOUS SURFACE
- ⊕ CONCRETE CURB
- ⊕ FENCE LINE
- ⊕ OVERHEAD POWER LINES
- ⊕ TREE LINE
- ⊕ STUMP
- ⊕ PINE
- ⊕ BUSH
- ⊕ TREE
- ⊕ FOUND SURVEY CORNER
- ⊕ SET 12" IRON ROD
- ⊕ SET WOOD LATH
- ⊕ SET P.K. NAIL
- ⊕ RIGHT OF WAY MARKER
- ⊕ BENCHMARK
- ⊕ CONTROL POINT
- ⊕ SATELLITE DISH
- ⊕ AIR CONDITIONING UNIT
- ⊕ SOIL BORING
- ⊕ MAIL BOX
- ⊕ BURIED CABLE LINES
- ⊕ BURIED ELECTRIC LINES
- ⊕ GAS MAINS
- ⊕ SANITARY SEWER LINES
- ⊕ STORM SEWER LINES
- ⊕ TELEPHONE LINES
- ⊕ WATER MAINS
- ⊕ NOT FIELD LOCATED
- ⊕ MEASURED DIMENSION
- ⊕ RECORDED DIMENSION

UTILITY NOTE

The utility locations as shown are based on field observations and a careful review of municipal and utility company records. However, it is not possible to determine the precise location and depth of underground utilities without excavation. Therefore, we cannot guarantee the accuracy or completeness of the buried utility information shown. The contractor shall call "MISS DIG" (1-800-482-7171 or 811) within three working days prior to any excavation. The contractor is responsible for verifying these utility locations prior to construction and shall make every effort to protect and/or relocate them as required. The contractor shall notify the Engineer/Surveyor as soon as possible in the event a discrepancy is found.

PARCEL DESCRIPTION

(As Provided)
Lots 1 & 2 of Outlot A, AND the North 1/4 portion of the West 1/2 of that part of Outlot B which lies North of the Detroit, Grand Haven and Milwaukee Railway, EXCEPT 8.5 feet in width off the entire South side of said North 1/4, Walker and Steel Subdivision, as recorded in Clinton County Records, T.7 N.-R.2 W., City of St. Johns, Clinton County, Michigan.

BENCHMARKS

BM A - Set Gearspike in East face of power pole in center of site. East side of Lansing Street, First Power pole North of VAUNCONSANT STREET.

FLOODPLAIN INFORMATION

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, COMMUNITY PANEL #000702020 EFFECTIVE DATE OF MAY 3, 2011, THE SUBJECT PROPERTY LIES WITHIN ZONE X, WHICH ARE AREAS OF 0.2% ANNUAL CHANCE FLOOD. AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FT. OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

ZONING

The subject property is zoned MU "Mixed Use".

BUILDING SETBACKS:

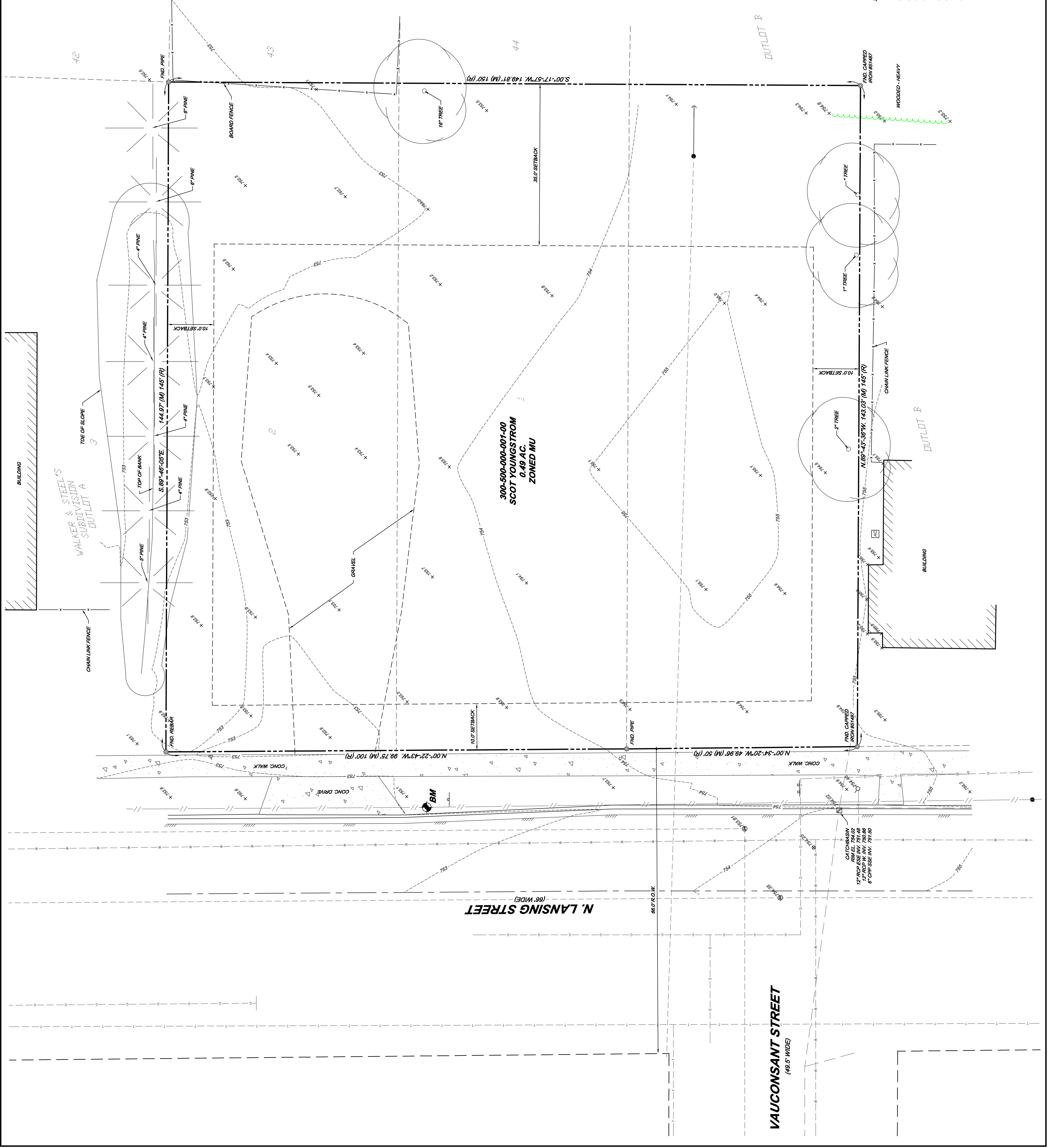
- Minimum Lot Area: 7,000 sq. ft.
- Minimum Lot Width: 75 ft.
- Front Yard Setback: 10 ft.
- Side Yard Setback: 10 ft.
- Rear Yard Setback: 35 ft.
- Maximum Building Height: 30 ft.

For more Zoning Information see City of St. Johns Zoning Ordinances.

BY	MARK	REVISIONS	DATE

DE. BY: M.L.W.	CH. BY: D.M.W.	PROJECT NO. 13404862023
DR. BY: M.L.W.	APP. BY:	
STDS. 02-27-23	SHEET 1 OF 1	
DATE 02-27-23	FILE NO. JD-6354	
SCALE 1" = 10'		

ST. JOHNS OFFICE 1400 West 14th Street St. Johns, MI 48879 Tel. 877-774-2375 www.SpicerGroup.com	
Spicer Group	
YOUNGSTROM CONTRACTING 519 SPRAGUE ROAD IONIA, MICHIGAN	
EXISTING CONDITIONS OF: 500 N. LANSING STREET	



Drain Name: Rear and Side Drainage Swale
 Outfall Location: Existing CB along N Lansing Street

Area: 0.44 Ac

C-values

C-impervious	0.80
C-pervious	0.20
% Impervious	57%
Ai	0.2508 Ac
Ap	0.1892 Ac
Ci x Ai	0.20
Cp x Ap	0.04
Final C	0.54

LEGEND

Input for Crossing
Co-efficient/Variable that typically stays constant
Results from Hydraulics

Intensity

Lag Time	15 min
Length Overland	300 ft
Length in Drain	16 ft
Overland Velocity	1 ft/sec
Drain Velocity	1.13 ft/sec
Time Overland	5.0 min.
Time Drain	0.2 min.
Time of Conc	20.2 min.
Intensity	3.38 in/hr

Peak Discharge 0.81 cfs
10-Year Storm

unit flow check 1.83 cfs/acre

Required Channel Depth: 0.49 ft

Channel Velocity

Required Flow	0.81 cfs
Slope	0.500%
Bottom Width	0.01 ft
Side Slope	3 on 1
Manning's N	0.035
Normal Depth	0.49 ft
Channel Width	2.92 ft.
Pw	3.08 ft.
Aw	0.71 Sq ft.
Calculated Velocity	1.13 ft/sec

Calculated Flow

0.80 cfs



MCKENNA

June 5, 2023

Planning Commission
City of St. Johns
100 E. State Street, Suite 1100
St. Johns, Michigan 48879

Subject: 500 N. Lansing Avenue Special Use Review

Dear Commissioners,

As requested, we have reviewed the request for a Special Use Permit and Site Plan Approval at 500 N. Lansing Avenue. The applicant proposes to construct a new building storage building for Youngstrom Construction on the currently-vacant site.

The site is zoned MU Mixed Use District. Storage for a contractor is not specifically listed as a permitted use, but is similar to “Business offices of a public utility, transportation, advertising, real estate, insurance, commercial or industrial establishment,” which is allowable as a Special Use. Therefore, the applicant has requested Special Use Approval. Our Special Use comments follow.

Site Plan approval is also required. Our Site Plan comments are under separate cover.

Special Use Criteria. In order to be approved, the City Commission, upon recommendation of the Planning Commission, must determine that the proposed uses meet the standards of Section 155.258, which are the general standards applicable to all Special Uses. Section 155.258 includes the following criteria:

a) Will be harmonious with and in accordance with the community development plan. In order to be considered “harmonious and in accordance”, the Special Use proposal must:

- **Be consistent with the City’s goals for Land Use, Neighborhoods, Transportation, and Sustainability as articulated in Chapter 3 of the City of St. Johns Master Plan.** The relevant pages of the Master Plan are attached for reference.

This proposal advances Land Use Goals 1, 4, and 5, and is neutral on Goal 2 (which is specifically related to the core downtown) and Goal 3 (which is specifically about the Federal Mogul/FC Mason site).

It also advances Neighborhood Goal 1, while being neutral about Goals 2, 3, and 4 (which are more specific to housing and historic preservation).

With regard to Transportation goals, it is neutral on all goals.



The proposal is also neutral on the specific Sustainability goals, though it advances the City's broader Sustainability goal of creating jobs in the core of the City to reduce commute times and improve walkability.

- **Positively promote the vision described for the Community Character Area that the use will be located in, as described in Chapter 4 of the City of St. Johns Master Plan.**

The proposed use is located in the "Downtown Edge" Community Character Area, which describes the appropriate land uses as follows:

Uses that can serve as a transition between the downtown and the neighborhoods are encouraged. Uses should be a mix of commercial, professional offices, residential, technology, and civic. The goal of this area is to allow existing uses to continue while creating an opportunity for different types of uses in the future if sites are redeveloped.

The proposed contractor's storage building and yard advance the economic vitality of the area by replacing a vacant lot. The use is not exactly what the Master Plan envisions – it will have few on-site jobs, and will not create spinoff development. However, if the building is designed to meet the requirements of Section 155.196, it will be a positive addition to the neighborhood that can be economically productive throughout its useful life.

- **Not hinder the implementation of the Mobility Plan for the street(s) it is adjacent to, as described in Chapter 6 of the City of St. Johns Master Plan.**

The use will not contribute to traffic congestion or safety issues, and thus will not hinder the implementation of the mobility plan.

- b) **Will be designed, constructed, operated, and maintained so as to be safe, harmonious and appropriate in appearance with the existing or intended character of the general vicinity. Factors affecting this standard include noise, lighting, parking, traffic, garbage, large gatherings of people, water runoff, neighborhood character, heat island effect, and other similar off-site impacts of a use.**

The biggest concerns about the use stem from the gravel storage area in the rear. However, if that area is designed to meet the requirements of the Zoning Ordinance – specifically the 30 foot setback from the rear lot line, and the required screening fence – negative impacts should be mitigated.

- c) **Will be a substantial improvement to property in the immediate vicinity and an economic asset to the community as a whole. "Substantial improvement" and "economic asset" shall mean that the proposed use will clearly generate more economic activity, tax revenue, jobs, housing units, and/or spinoff development than the site would generate without the approved Special Use. In evaluating this criteria, the City Commission shall compare the site to its current state at the time of application, not to hypothetical alternative developments other than the proposed Special Use.**



The Mixed Use district is limited in the businesses that it allows by right. Special Use permits have been approved in the past to allow a wide variety of businesses nearby. In this case, the business is developing a vacant lot, adding jobs and tax revenue that did not previously exist.

- d) Will be served adequately, based on the anticipated needs of the use in question, by existing public facilities and services, such as highways, streets, police and fire protection, drainage structures, parking lots, refuse disposal, water and sewer utilities, non-motorized pathways/sidewalks, communications infrastructure, public transportation, waste removal, and schools. The City Commission may also require upgrades to public services directly related to the proposal as a condition of Special Use approval.**

Businesses of a similar scale have operated nearby and have not negatively impacted public facilities and services so the impact on highways, streets, drainage, water/sewer, sidewalks communications, Blue Bus, waste removal, and schools will be minimal. See Criteria F for an analysis of the impact on parking.

We will defer to the police and fire departments regarding the impact on those services.

- e) Will be consistent with the Purpose and Intent of allowing Special Uses (see Section 155.255) and the Purpose and Intent of the Zoning District the Special Use is located within.**

The purpose and intent of allowing Special Uses is:

“The special use permit process is based on the concept that some uses are appropriate in a zoning district only under certain circumstances and with specific conditions. The special use permit review process allows the city to review a proposed use, determine if it is appropriate in the location proposed and what conditions are required to be placed on the use to ensure it’s compatibility with other uses in the area.”

The City specifically designated a wide variety of businesses as Special Uses in the MU District, in recognition of the diverse land use character that exists within that district. This particular parcel has long been vacant, and the proposed use can meet the site design requirements to locate there.

The purpose and intent of the MU Zoning District is:

“The MU District is intended to cover an area north of the railroad right-of-way near the CBD. It is intended to serve as a buffer between the residential uses to the north and the commercial and industrial uses to the south and east.”

Lansing Avenue specifically includes a number of commercial buildings that create a transition from the core downtown to the residential neighborhoods to the north and west. The proposed Special Use is appropriate in that context.



- f) **Will be served by adequate, safe, and efficient parking. “Adequate, safe, and efficient parking” shall mean not only meeting the requirements of Section 155.342, but also ensuring that the parking for the use does not burden nearby uses, does not create safety hazards for motorists, cyclists, or pedestrians, does not take up excessive land that could be used for more productive purposes, and does not create a blight on the historic character and charm of the City.**

The small parking lot will be located to the side of the building, avoiding pedestrian-automobile conflicts, and allowing the front yard of the development to be landscaped and pedestrian-friendly.

- g) **Comply with the applicable design standards outlined for the specific proposed use in Sections 155.415 through 155.448 of this chapter.”**

See our Site Plan letter.

RECOMMENDATION

We recommend that the Planning Commission recommend approval the City Commission, conditioned on Site Plan Approval. Please note that our Site Plan letter contains several important concerns that need to be addressed prior to approval.

Please let us know if you have any questions.

Respectfully submitted,
McKENNA

Christopher Khorey, AICP
Senior Principal Planner



MCKENNA

June 5, 2023

Planning Commission
City of St. Johns
100 E. State Street, Suite 1100
St. Johns, Michigan 48879

Subject: 500 N. Lansing Avenue Site Plan Review

Dear Commissioners,

As requested, we have reviewed the request for a Special Use Permit and Site Plan Approval at 500 N. Lansing Avenue. The applicant proposes to construct a new building storage building for Youngstrom Construction on the currently-vacant site.

The site is zoned MU Mixed Use District. Storage for a contractor is not specifically listed as a permitted use, but is similar to “Business offices of a public utility, transportation, advertising, real estate, insurance, commercial or industrial establishment,” which is allowable as a Special Use. Therefore, the applicant has requested Special Use Approval. Our Special Use comments are under separate cover.

Our comments regarding the criteria for approving the Site Plan follow.

1) Dimensional Standards.

Standard Type	Ordinance Requirement (MU)	500 N. Lansing Conditions (Proposed New Building)	Ordinance Compliance
Minimum Lot Area	7,000 square feet	21,344 square feet	Yes
Minimum Lot Width	75 feet	150 feet	Yes
Minimum Front Yard Setback	10 feet	>10 feet	Yes
Minimum Side Yard Setback	10 feet	>10 feet (both)	Yes
Minimum Rear Yard Setback	20 feet	>20 feet	Yes
Maximum Building Height	30 feet	<30 feet	Yes
Maximum Lot Coverage	60%	13.4%	Yes
Maximum Residential Density	1 unit per 4,000 square feet	0 Units	Yes



2) Parking, Loading, and Access.

- a. **Number of Spaces.** As noted above, the site will be required to have the following number of parking spaces.
- **Warehousing, Storage Buildings, and Wholesale: 1 space per 1,000 square feet**
 - **TOTAL REQUIREMENT: 3 spaces**

The site plan shows four parking spaces, meeting the requirement.

- b. **Barrier-Free Spaces. At least one parking space out of every 25 must be barrier-free (i.e. reserved for people with disabilities).** With 4 parking spaces, one barrier-free space is required. The required parking space is included on the plans.
- c. **Dimensions.** The proposed parking spaces meet the dimensional standard in the Zoning Ordinance.
- d. **Paving and Striping.** The parking lot is paved as required in Section 155.343.E. There is also a gravel area east of the building. Presumably this is a proposed Commercial Outdoor Display, Sales, or Storage Area, and therefore must meet the requirements of Section 155.195. See below and our Special Use letter.
- e. **Loading Spaces.** No loading spaces are required because the proposed building is under 5,000 square feet.

3) Commercial Outdoor Display, Sales, or Storage Area. The gravel area east of the building must meet the following requirements from Section 155.195:

- a. **Any stockpiles of soils, fertilizer or similarly loosely packaged materials shall be sufficiently covered or contained to prevent dust or blowing of materials. It is not clear if there will be any stockpiles of this nature. If there are, they will be subject to this requirement.**
- b. **No outdoor storage shall be permitted in the required front, side or rear yard of buildings for the district in which the commercial outdoor display, sales or storage use is located. The storage area does not meet this requirement. The "required rear yard" (i.e. the minimum rear setback) is 30 feet. The setback of the storage area varies from approximately 16 to approximately 19 feet.**
- c. **The site shall include a building of at least 400 feet of gross floor area for office and sales uses in conjunction with the approved use.** The proposed building is 2,880 square feet. This requirement is met.



- d. **Storage areas shall consist of a permanent, durable and dustless surface (gravel) and shall be graded and drained to dispose of stormwater without a negative impact on adjacent property.** This requirement is met.
- e. **All loading and truck maneuvering including into loading/unloading areas shall be accommodated on-site.** Since the use is contractor's storage, the largest vehicles accessing the outdoor storage area will be pickups and other vehicles of similar size. Semi-trucks will not need to access the site.
- f. **All outdoor sales, display or storage area property lines adjacent to a residential district shall comply with the landscaping requirements in §§ [155.295](#) through [155.304](#).** The Planning Commission may also require taller landscaping screening based on the height of materials to be displayed or stored. See our landscaping and screening comments below.
- g. **The use of semi-trailers, portable shipping containers, or other portable storage/shipping-type containers in conjunction with the sale or storage of material is prohibited, but the short term use for "trailer sales" is permitted provided the sale does not exceed seven days and does not occur more than four times a year.** This requirement will apply to the site on an ongoing basis. We are not aware of any proposed "trailer sales."

4) Landscaping and Screening. The following landscaping is required.

- a. **Buffer Zone.** Section 155.297 requires a buffer zone between commercial uses, such as the contractor storage building, and residential uses. The buffer zone may be a 6 foot tall wall, a 6 foot tall berm, or one tree and four shrubs per 25 feet of property line.

The rear property line, which abuts residential uses, is 150 feet long, for a requirement of 6 trees and 24 shrubs. The applicant has proposed 8 trees (one of which is existing) and 20 shrubs. Four more shrubs must be added.

The south property line, which also abuts residential uses, is 143 feet long, for a requirement of 6 trees and 24 shrubs. The applicant has proposed 10 trees (3 of which are existing) and 28 shrubs, exceeding the requirement. _

- b. **Storage Area Screening Fence.** Section 155.297.C.3 requires all storage areas to be screened by a fence at least six feet in height. The fence must screen the storage area from view of all nearby residential properties, including those across Lansing Avenue. We recommend that the fence be made of wood in order to be more aesthetically compatible with nearby homes. We further recommend that the fence be located at the end of the gravel, and that the required landscaping be located along the property line, as currently shown on the plan.
- c. **Parking Lot Landscaping.** The proposal is exempt from parking lot landscaping requirements because the parking lot in question has fewer than 16 parking spaces.



- d. **Right-of-Way Landscaping.** Along the right-of-way, 1 tree is required for every 30 feet of frontage. The tree can be planted in the public right-of-way with the permission of the City, or they can be planted on private property. The front lot line is 150 feet long, for a requirement of 5 trees. 4 ornamental trees are proposed as part of the “landscaping adjacent to the building” in the front yard. We are willing to count those as frontage trees, but they are so close to the building that we are concerned they will not survive. We recommend that they be moved away from the building and closer to the sidewalk. A fifth tree must also be added.
 - e. **Landscaping Adjacent to Buildings.** Ornamental landscaping is required along the perimeter of buildings by Section 155.302. For commercial buildings like the one proposed, the landscape area must be 10% the size of the building. In this case, that would be 288 square feet. The landscape area proposed exceeds this requirement, and will still be in compliance after the ornament trees are moved, as described above.
 - f. **Tree Preservation.** The site plan states that the applicant intends to preserve 7 trees, but only 4 preserved trees are shown on the landscape plan. Preserving additional trees is not required, provided that the landscaping requirements are met, but the site plan must be revised to be internally consistent.
 - g. **Landscape Species.** The specific species of trees and shrubs proposed must be indicated on the plan.
- 5) **Lighting.** The locations of light fixtures have been included on the plans, but no spec sheets for the light fixtures and no photometric plan have been submitted, so we cannot determine whether the proposed lighting meets the requirements of Section 155.191. Spec sheets for all proposed exterior light fixtures, as well as a photometric plan, must be submitted.
- 6) **Building Design.** Section 155.196 includes requirements for new construction commercial buildings. No building elevations have been submitted to determine compliance with these requirements.
- a. **Exterior building material shall be composed of high quality, durable, low maintenance material, such as masonry, stone, brick, or glass to the extent that surrounding businesses and are composed of such.** A description of the proposed building materials must be submitted.
 - b. **The front facade of the building should address the main street with entrances, windows, and architectural features facing the street. No docking bays shall face the street, unless approved by the Planning Commission based upon a finding that the door is recessed back from the front facade and properly screened from public view.** It is clear from the site plan that no door is proposed on the front of the building. A door must be added, along with a walkway to the public sidewalk. No docking bays are proposed, so that portion of this standard is met.



- c. **All mechanical equipment, including but not limited to heating, ventilating and air conditioning equipment, and antennas, shall be placed in an inconspicuous location or screened from view. If equipment is placed on rooftops it shall also be screened from the public view in a manner that does not draw attention to the placement of the equipment.** An electrical transformer is proposed for the front yard. If possible, it should be relocated, though the Planning Commission should be flexible with this requirement if necessary based on the location of the electric service to the site.
- d. **Size and height of buildings should be compatible with the character and existing views of the surrounding areas as determined by the Planning Commission.** We recommend that the Planning Commission consider the size and height appropriate.
- e. **The existing character of the site and the nearby area should be the starting point for the design of the building and all site treatment.** Building elevations must be submitted to determine if this requirement is met.

7) **Trash Receptacles.** No dumpster enclosure location or design has been proposed.

8) **Signage.** No signage has been submitted. Signage may be approved separately through the sign permit process with the City administration.

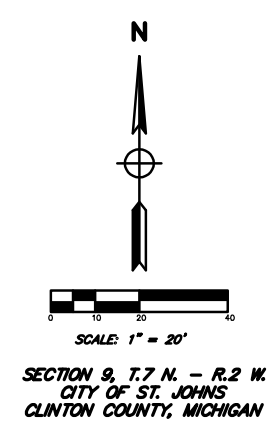
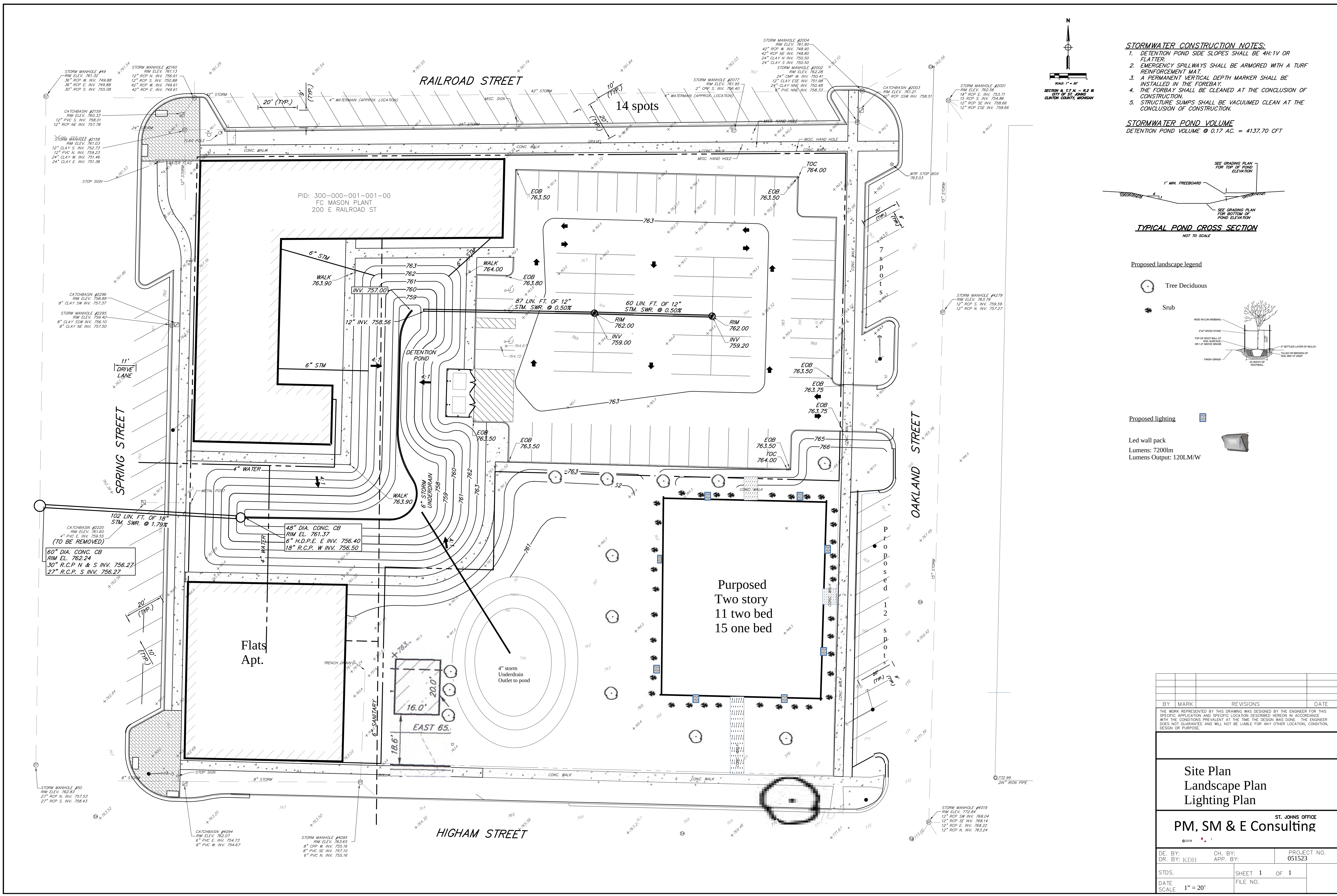
RECOMMENDATION

We recommend that the Site Plan Approval be tabled until the applicant submits a revised plan addressing the concerns in this letter.

Please let us know if you have any questions.

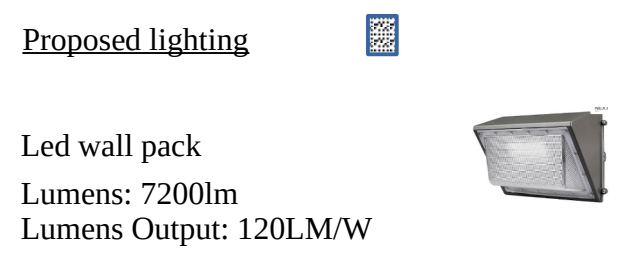
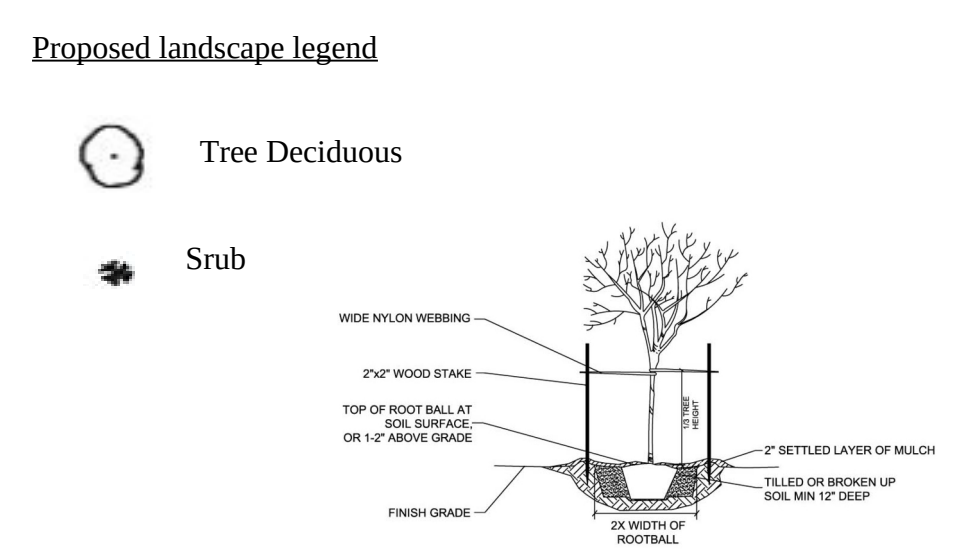
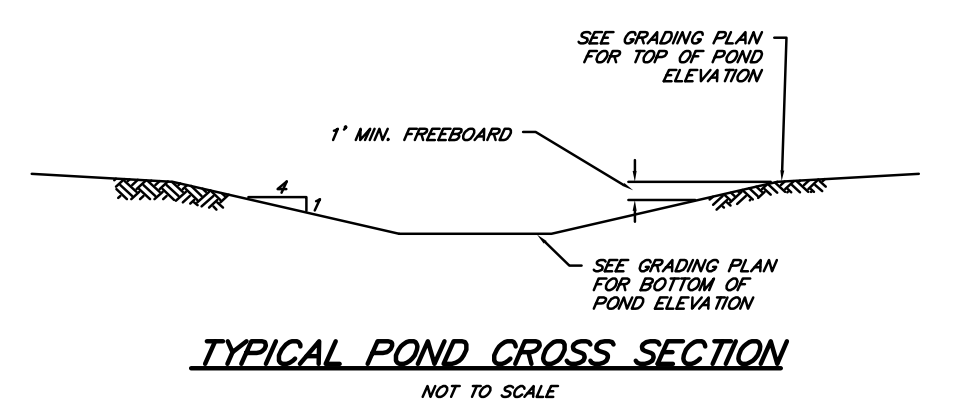
Respectfully submitted,
McKENNA

Christopher Khorey, AICP
Senior Principal Planner



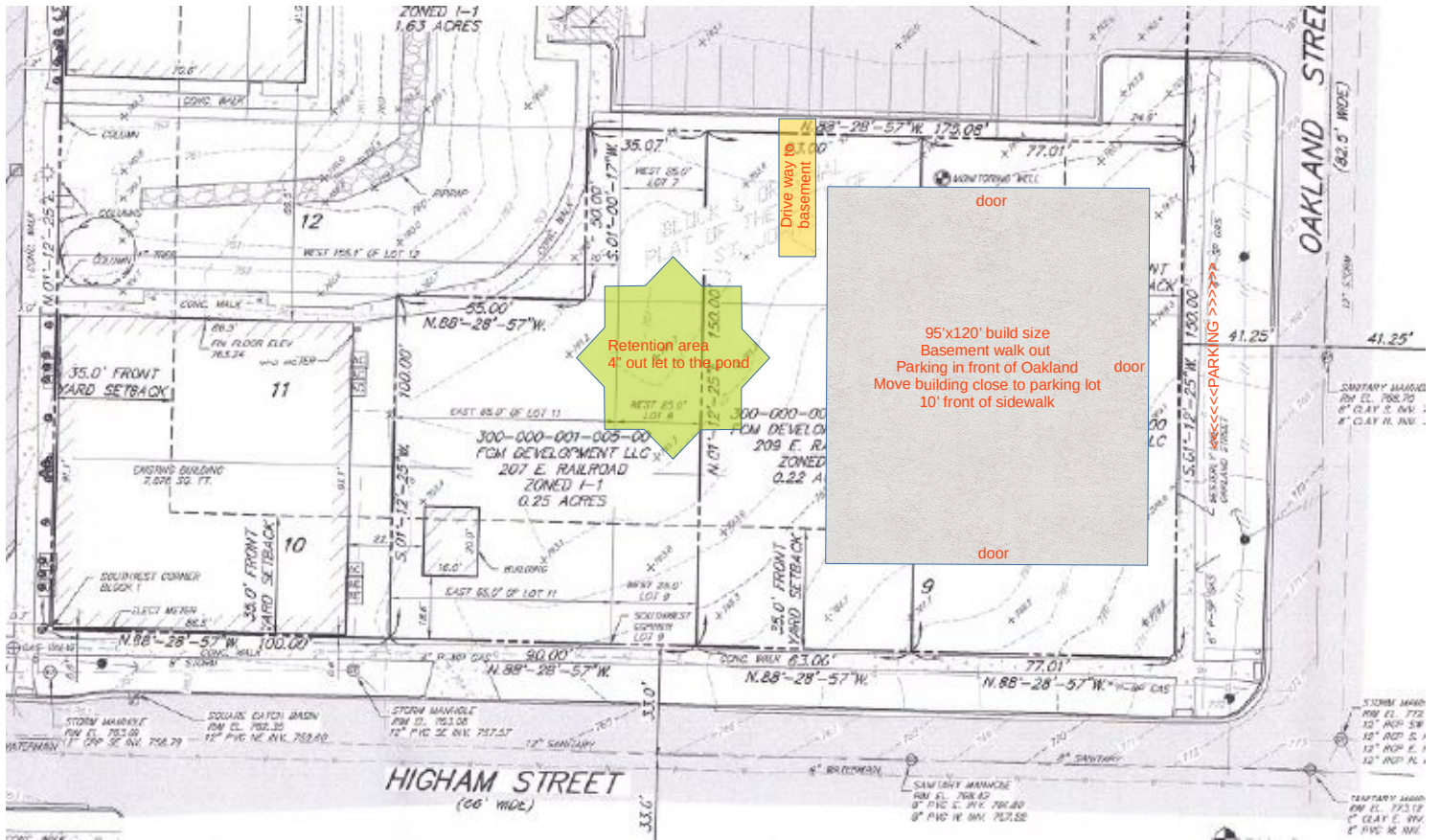
- STORMWATER CONSTRUCTION NOTES:**
1. DETENTION POND SIDE SLOPES SHALL BE 4H:1V OR FLATTER.
 2. EMERGENCY SPILLWAYS SHALL BE ARMORED WITH A TUFF REINFORCEMENT MAT.
 3. A PERMANENT VERTICAL DEPTH MARKER SHALL BE INSTALLED IN THE FOREBAY.
 4. THE FOREBAY SHALL BE CLEANED AT THE CONCLUSION OF CONSTRUCTION.
 5. STRUCTURE SUMPS SHALL BE VACUUMED CLEAN AT THE CONCLUSION OF CONSTRUCTION.

STORMWATER POND VOLUME
 DETENTION POND VOLUME @ 0.17 AC. = 4137.70 CFT



BY	MARK	REVISIONS	DATE
<p>THE WORK REPRESENTED BY THIS DRAWING WAS DESIGNED BY THE ENGINEER FOR THIS SPECIFIC APPLICATION AND SPECIFIC LOCATION DESCRIBED HEREIN IN ACCORDANCE WITH THE CONDITIONS PREVALENT AT THE TIME THE DESIGN WAS DONE. THE ENGINEER DOES NOT GUARANTEE AND WILL NOT BE LIABLE FOR ANY OTHER LOCATION, CONDITION, DESIGN OR PURPOSE.</p>			
<p>Site Plan Landscape Plan Lighting Plan</p>			<p>ST. JOHN'S OFFICE</p>
<p>PM, SM & E Consulting</p>			<p>PROJECT NO. 051523</p>
<p>DE. BY: DR. BY: KDH</p>	<p>CH. BY: APP. BY:</p>	<p>PROJECT NO. 051523</p>	<p>PROJECT NO. 051523</p>
<p>STDS.</p>	<p>SHEET 1 OF 1</p>	<p>FILE NO.</p>	<p>FILE NO.</p>
<p>DATE SCALE 1" = 20'</p>	<p>FILE NO.</p>	<p>FILE NO.</p>	<p>FILE NO.</p>

P:\proj2018\125887\SC2018_Former Fc MasonPlant\CAD-GIS\Civil3D-UD-1593-06_Grading.dwg, Layout1, 8/17/2019 8:16:31 AM, michellew, PDF-XChange for Acrobat Pro, Landscape 24x36, 1:1



Retention area
4' out let to the pond

Drive way to
basement

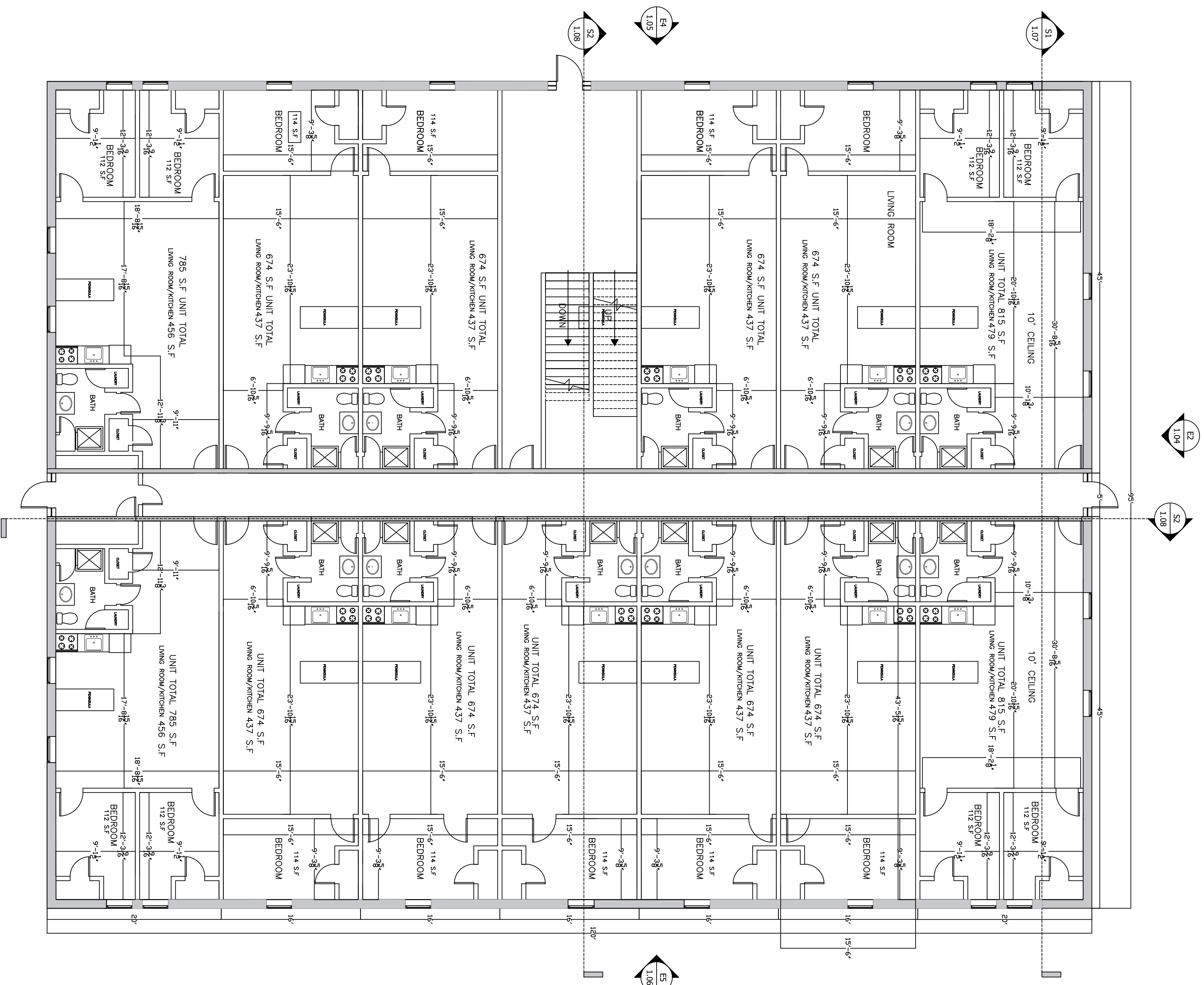
door
door
door
door
95'x120' build size
Basement walk out
Parking in front of Oakland
Move building close to parking lot
10' front of sidewalk

PARKING

HIGHAM STREET
(66' WIDE)

OAKLAND STREET
(82.5' WIDE)

■ STRUCTURAL WALLS
 ■ ALL OTHERS: STEEL STUDS



A1 FIRST FLOOR PLAN
 1.01 THE FLATS

1/8" = 1'-0"

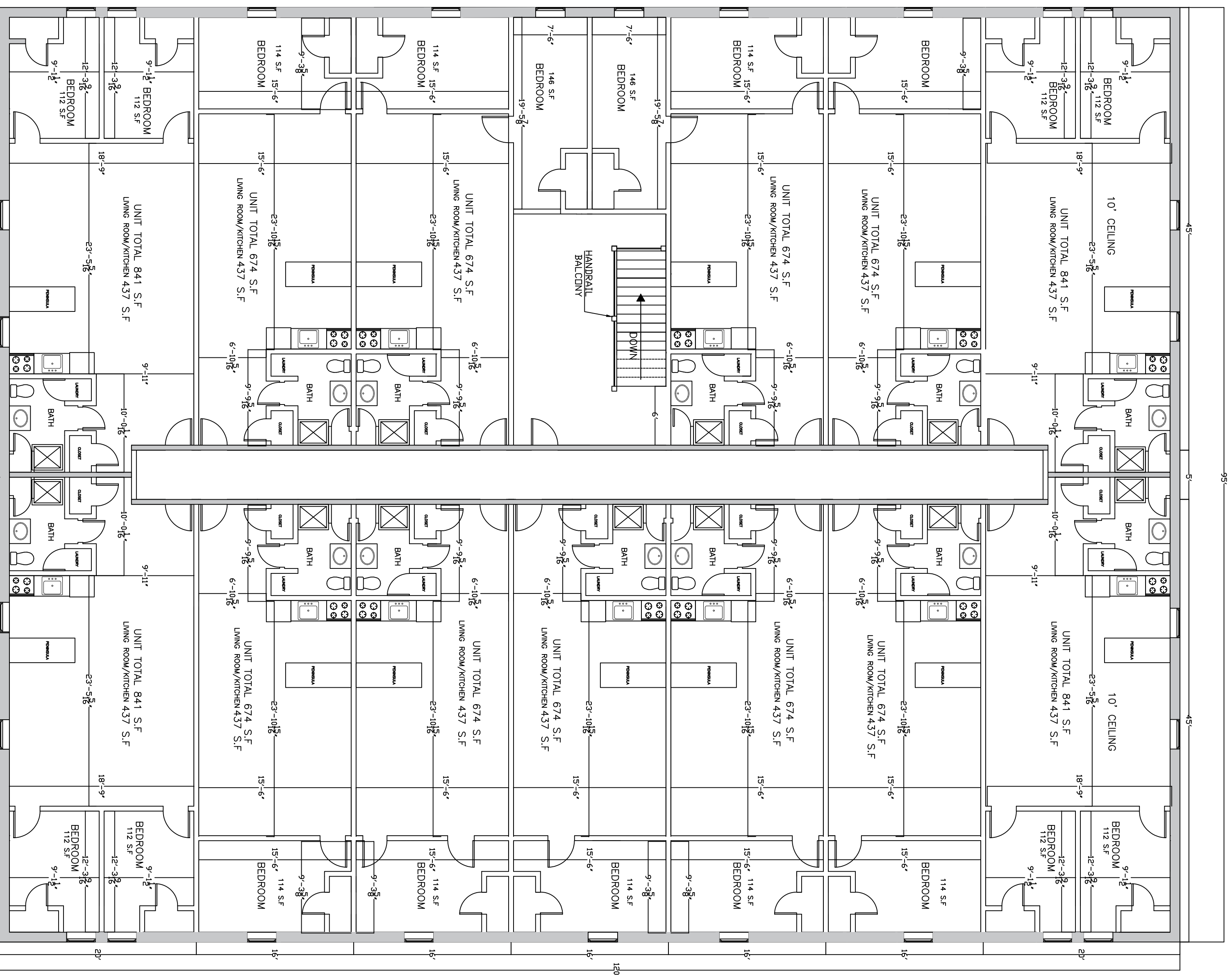
General Notes

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address
 Ken Horris
 The Flats
 200 East Railroad Street, St.
 St. Johns, Michigan 48879

Project #	Sheet
Date	1.01
4/21/2023	
Scale	As Noted



A2 SECOND FLOOR PLAN
1.02 THE FLATS

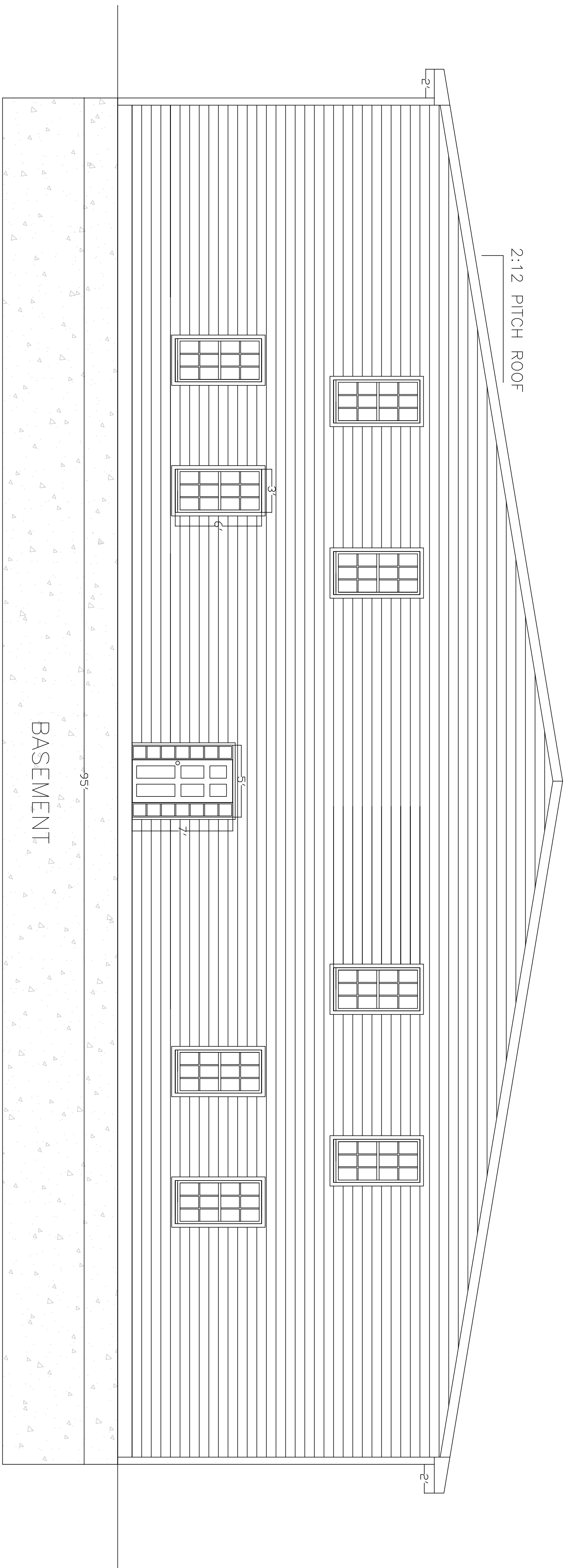
1/8" = 1'-0"

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address
 Ken Harris
 The Flats
 200 East Railroad Street, St.
 St. Johns, Michigan 48879

Project #	Sheet
4/21/2023	1.01
Date	Scale
As Noted	



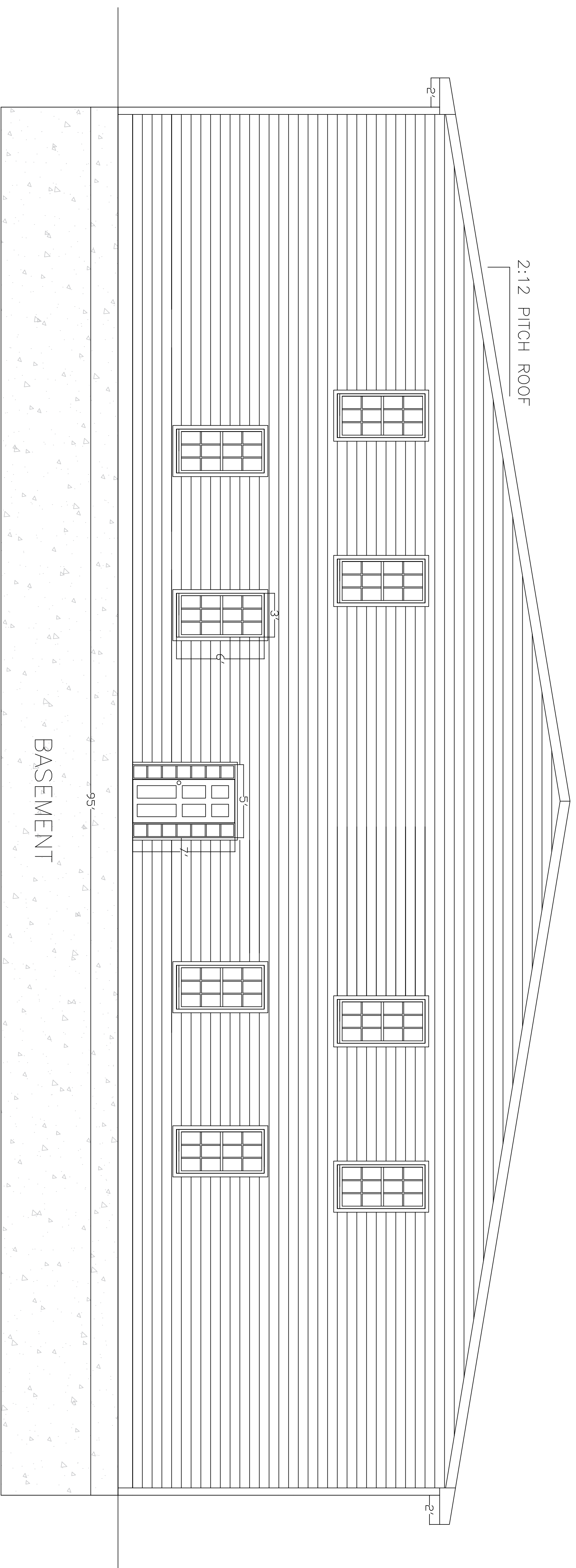
E1 RIGHT ELEVATION
1.03 THE FLATS
1/4"=1'-0"

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address
Ken Harris
The Flats
200 East Railroad Street, St.
St. Johns, Michigan 48879

Project #	Sheet
4/21/2023	1.03
Date	Scale
As Noted	



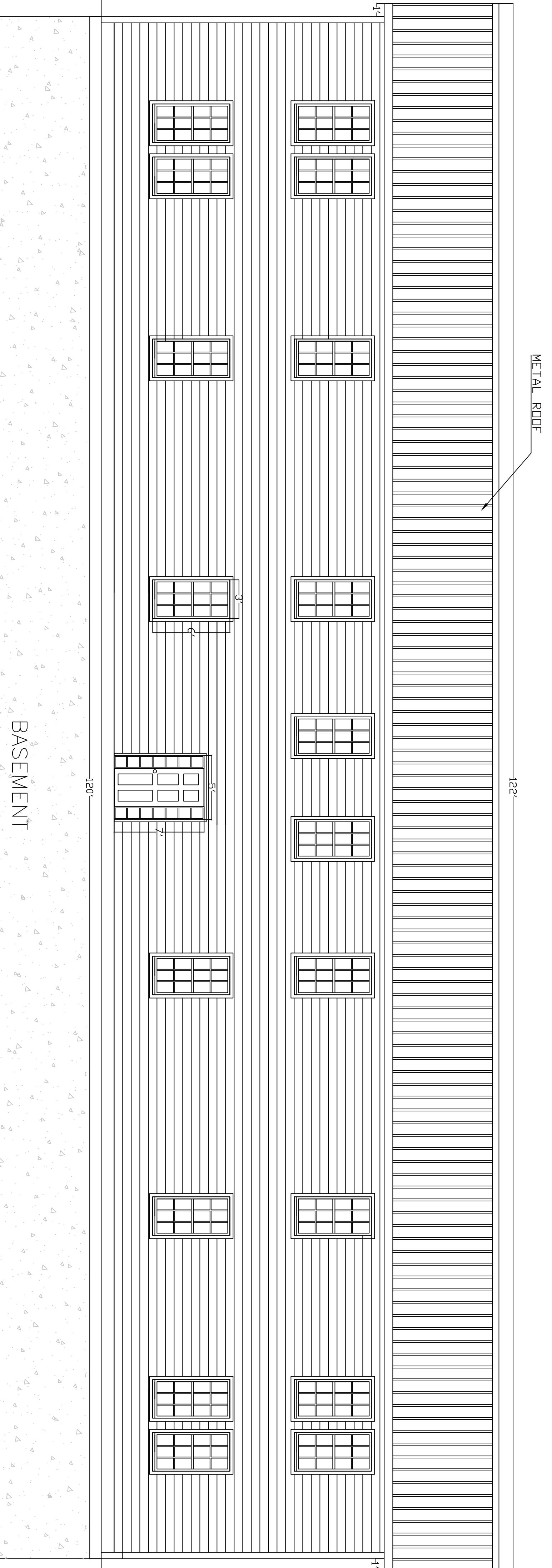
E2 LEFT ELEVATION
1.04 THE FLATS
1/4"=1'-0"

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address
Ken Harris
The Flats
200 East Railroad Street, St.
St. Johns, Michigan 48879

Project #	Sheet
4/21/2023	1.04
Date	Date
As Noted	Scale



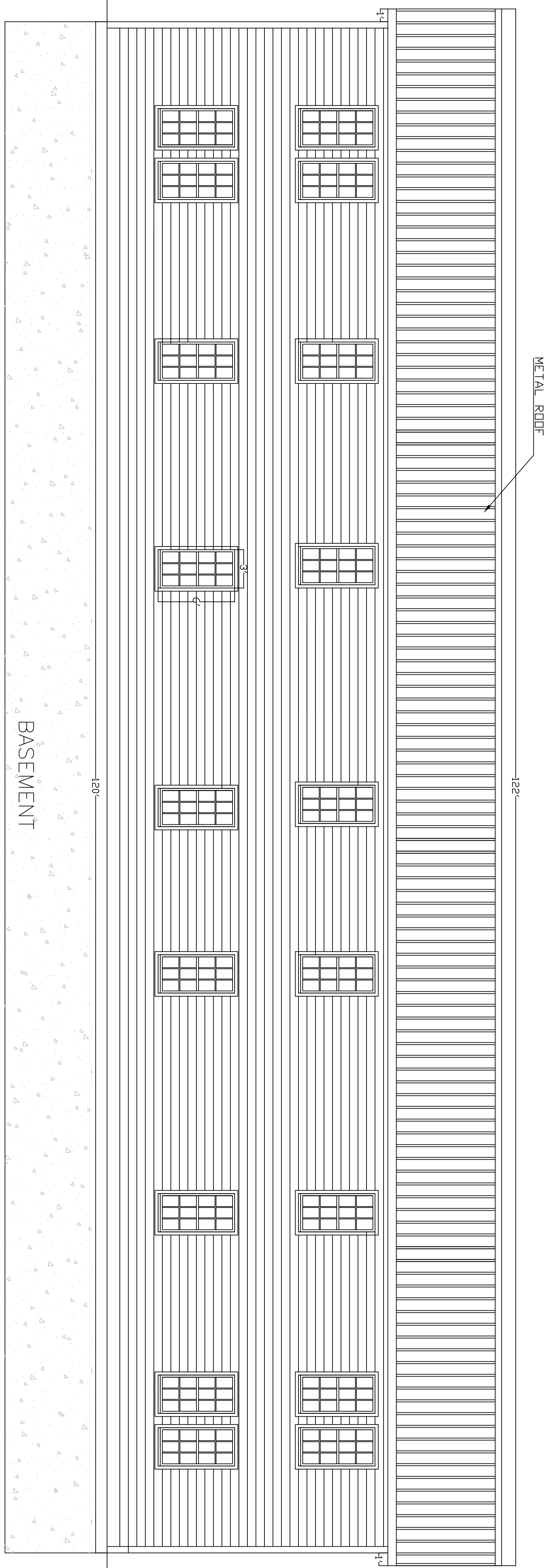
E3 FRONT ELEVATION
1.05 THE FLATS
3/16" = 1'-0"

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address
Ken Harris
The Flats
200 East Railroad Street, St.
St. Johns, Michigan 48879

Project #	Sheet
4/21/2023	1.05
Date	Date
As Noted	Scale



E4 BACK ELEVATION
1.05 THE FLATS

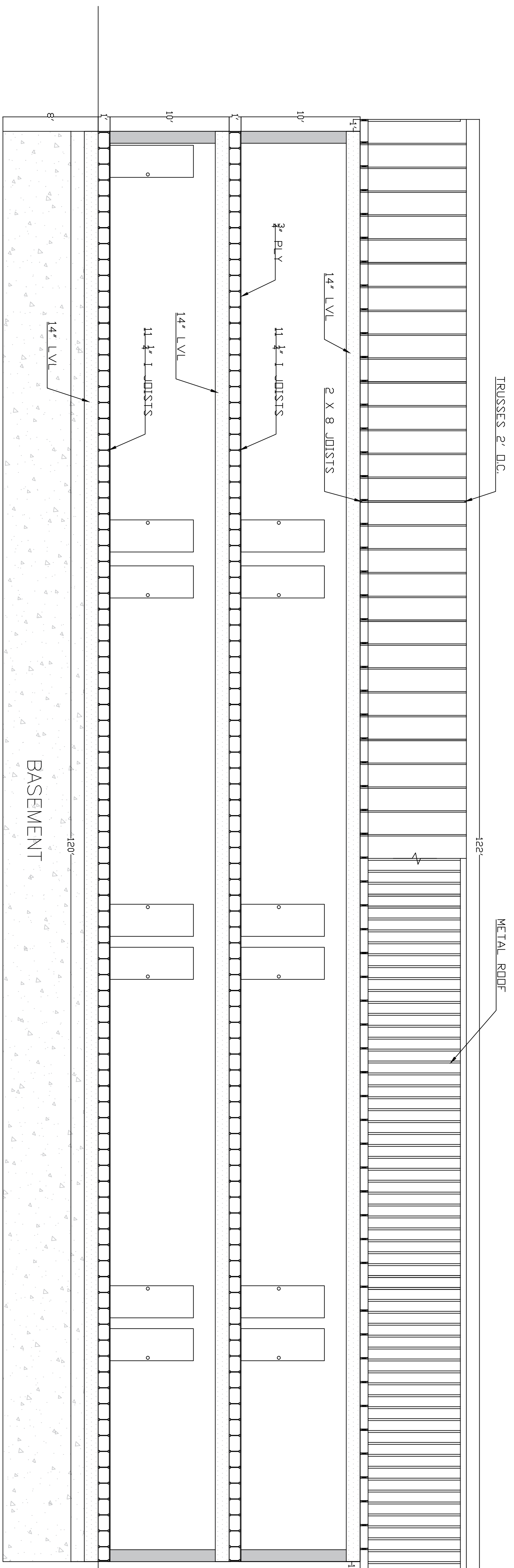
3/16" = 1'-0"

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address
Ken Harris
The Flats
200 East Railroad Street, St.
St. Johns, Michigan 48879

Project #	Sheet
4/21/2023	1.06
Date	
Scale	As Noted



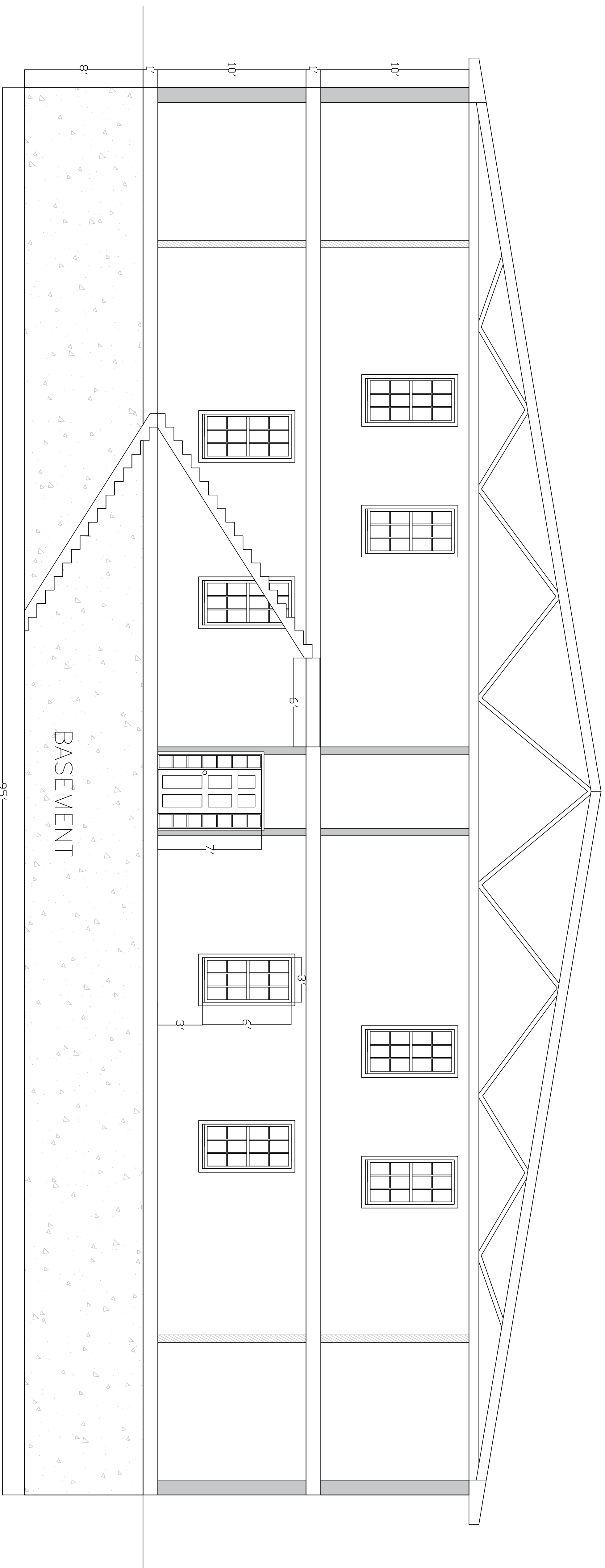
S1 SECTION
1.07 THE FLATS
3/16"=1'-0"

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address
Ken Harris
The Flats
200 East Railroad Street, St.
St. Johns, Michigan 48879

Project #	Sheet
4/21/2023	1.07
Date	Date
As Noted	Scale



S2 STAIRCASE SECTION
1.08 THE FLATS
1/4"=1'-0"

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address
Ken Harris
The Flats
200 East Railroad Street, St.
St. Johns, Michigan 48879

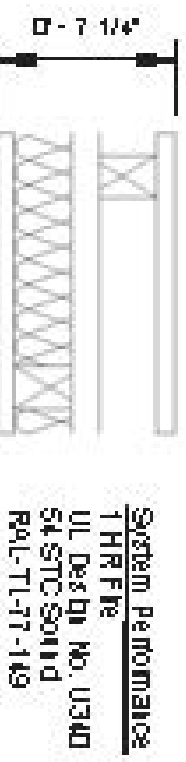
Project #	Sheet
4/21/2023	1.08
Date	Date
As Noted	Scale



System Description
System Performance
 1 Hr Fire
 UL Design No. U423 or U425
 4000 Series
 USC-810519

System Description (detailing)
 - 5/8" SHEETROCK BRAND FIRECODE CORE
 - Core Panel (SHEETROCK BRAND FIRECODE
 CORE SYSTEM PANEL) BOTTOM TO TOP OF INTERWALL
 - 2x3 PINE STUDS FOR SYSTEM BASE
 - 5/8" SHEETROCK BRAND FIRECODE CORE
 - optional inter-panel filler

2 Hallway walls 1 Hr Fire Rated
 1" = 1'-0"



System Description
System Performance
 1 Hr Fire
 UL Design No. U340
 SASTC Series
 RUL-TT-119

System Description (detailing)
 - 5/8" SHEETROCK BRAND FIRECODE CORE CONCRETE PANEL
 - 2x3 PINE STUDS FOR SYSTEM BASE
 - 5/8" SHEETROCK BRAND FIRECODE CORE
 - 2x3 PINE STUDS FOR SYSTEM BASE
 - 5/8" SHEETROCK BRAND FIRECODE CORE SYSTEM PANEL
 - optional inter-panel filler
 - optional inter-panel filler

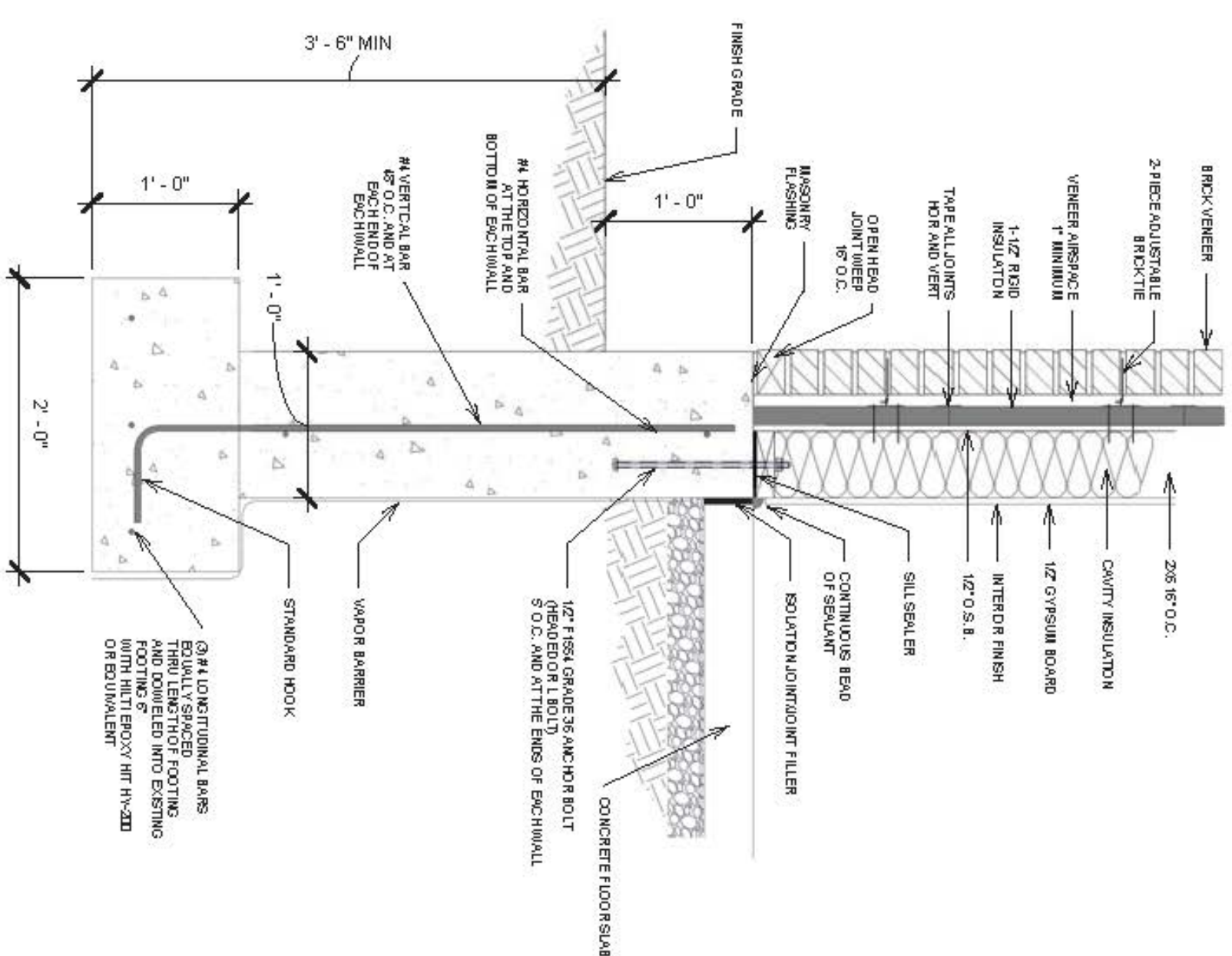
3 Separation walls 1 Hr Fire Rated
 1" = 1'-0"



System Description
System Performance
 0.5 Hr Fire
 UL Design No. U407

System Description (detailing)
 - 5/8" SHEETROCK BRAND FIRECODE CORE
 - Core Panel (SHEETROCK BRAND FIRECODE CORE SYSTEM PANEL) BOTTOM TO TOP OF INTERWALL
 - 2x3 PINE STUDS FOR SYSTEM BASE
 - 5/8" SHEETROCK BRAND FIRECODE CORE
 - optional inter-panel filler

4 Unit Interior Walls 0.5 Hr Fire Rated
 1" = 1'-0"



D1 STRUCTURAL DETAIL
 1.09 THE FLATS

1" = 1'-0"

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address
 Ken Harris
 The Flats
 200 East Railroad Street, St.
 St. Johns, Michigan 48879

Project #/Sheet
 4/21/2023
 Scale As Noted
 1.09

DRAFT Conditional Rezoning Agreement

Date: June 5, 2023

Name: FC Mason Redevelopment

Parcel: 300-000-001-001-00, 300-000-001-005-00, 300-000-001-004-00, 300-000-001-003-00 (To be updated after parcels are combined)

Address: 200 E. Railroad Street, 207 E. Higham Street, 209 E. Higham Street, 301 N. Oakland Street

Property Owner: Ken Harris, insert address

Old Zoning: R-3 High Density Residential

New Zoning: CBD Central Business District with Conditions

The City of St. Johns and Ken Harris, owner of the parcels referenced above, agree to the following:

- 1) The parcels referenced above shall be rezoned from R-3 High Density Residential to CBD Central Business District, with the following conditions:
 - a) The maximum number of dwelling units allowable on the block bounded by Spring, Railroad, Oakland, and Higham Streets shall be 66.
 - b) A minimum of one parking space per dwelling unit must be provided. The parking spaces must be on private property on the block bounded by Spring, Railroad, Oakland, and Higham Streets.
 - c) For any other consideration not listed above the standards of the CBD zoning district shall apply to the site.
- 2) In the event that the land uses, structures, and site elements on the site are determined to be out of compliance with any standards of this agreement or any applicable standards in the Zoning Ordinance, this agreement shall be void and the site shall revert to the R-3 Zoning District, subject to Section 3.h of this agreement.
- 3) The City and Property Owner further agree to the following:
 - a) This agreement does not waive any requirement to obtain Site Plan Approval for any site improvement that triggers Site Plan Approval under the Zoning Ordinance.
 - b) This agreement does not waive any requirement to obtain a Special Use Permit prior to beginning the operation of any use requiring Special Use Approval.
 - c) The property owner may apply for a rezoning or Planned Unit Development for the site. If approved, any rezoning or Planned Unit Development would void this agreement. The

City shall be under no obligation to approve any rezoning or Planned Unit Development application.

- d) The conditional rezoning was proposed by the Applicant to induce the City to grant the rezoning, and that the City relied upon such proposal and would not have granted the rezoning but for the terms in the conditional rezoning agreement.
- e) The conditions and conditional rezoning agreement are authorized by all applicable state and federal laws and constitution, and that the conditional rezoning agreement is valid and was entered into on a voluntary basis, representing a permissible exercise of authority by the City.
- f) The land in question shall not be developed or used in a manner that is inconsistent with this conditional rezoning agreement and any subsequent site plans, special uses, or other approvals by the City.
- g) The approval and conditional rezoning agreement shall be binding until voided by an action described above, and inure to the benefit of the Landowner and the City, and their respective heirs, successors, assigns, and transferees in perpetuity.
- h) If the conditional zoning becomes void as described above, no development shall be undertaken or permits for development issued until the underlying zoning district classification of the land has been re-established by vote of the City Commission.
- i) Each of the requirements and conditions in the conditional rezoning agreement represents a necessary and reasonable measure which, when considered with all other conditions and requirements, is roughly proportional to the increased impact created by the use represented in the approved conditional rezoning, taking into consideration the changed zoning district classification and the specific use authorization granted.

Signed:

Ken Harris
Property Owner

Kristina Kinde
City Manager
City of St. Johns

Date: _____

Date: _____



MCKENNA

June 5, 2023

Planning Commission
City of St. Johns
100 E. State Street, #1100
St. Johns, MI 48879

Subject: Proposed Conditional Rezoning of FC Mason Block

Dear Commissioners,

As requested by the City, we have reviewed the above referenced conditional rezoning application for the rezoning of the block bounded by Spring, Higham, Oakland, and Railroad Streets from R-3 High Density Residential to CBD Central Business District with Conditions.

The lot, which contains the redeveloped FC Mason building and The Flats apartment building, already exceeds the maximum allowable number of residential units allowed under R-3 Zoning. R-3 allows 10 units per acre. The site is 2.5 acres, meaning 25 housing units are permitted. There are 40 housing units on the block right now, and the applicant is proposing to add 26 more in a new building at the corner of Oakland and Higham.

The proposed conditional rezoning would allow 66 housing units on the site, and require 1 parking space per unit, on private property (so the adjacent angled on-street parking would not count towards the requirement). Under R-3 Zoning, the site would be limited to 25 units, and would be required to have two parking spaces per unit. Under CBD zoning without conditions, there would be no limit on the number of housing units (provided that minimum unit sizes and other requirements were met and no required parking).



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Below is the current zoning map in the area. The site in question is highlighted. The site consists of four parcels, but will be combined before the new building is built. The Zoning Map currently incorrectly shows the parcel as zoned I-1, but it was rezoned to R-3 several years ago.



LEGEND

-  R1 - Low Density Residential
-  R2 - Medium Density Residential
-  R3 - High Density Residential
-  CBD - Central Business District
-  GC - General Commercial
-  MU - Mixed Use
-  I1 - Industrial - High Performance
-  I2 - Industrial - Liberal Performance
-  O - Office
-  MC - Municipal Center



ZONING DISTRICT COMPARISON

The chart below compares the existing R-3 District to the proposed CBD District. When considering a rezoning, the Planning Commission must take into account all potential uses under the new zoning classification, not merely the use the applicant has expressed interest in.

The permitted uses in the CBD District are dependent on the adjacent roadways. The site is adjacent to four roadways – Spring, Higham, Railroad, and Oakland. But Section 155.101 states that the street that should be used to determine the permitted uses is the front lot line. For the purposes of this analysis, we have designated Oakland as the front lot line, because that is the primary street that the proposed apartment building will front. Oakland Street is not specifically listed in Section 155.101, so the site falls under “All Other Streets.”

The proposed Conditional Rezoning Agreement does not alter the uses or dimensional requirements of the proposed CBD district. However, it does restrict the number of dwelling units.

	<i>Existing District R-3 High Density Residential</i>	<i>Potential District CBD Central Business District with Conditions (Oakland Street)</i>
Permitted Uses	<ul style="list-style-type: none"> • Residential Units • Adult Foster Care Family Home • Family or Group Child Care Home • Essential Services • Home Occupations 	<ul style="list-style-type: none"> • Residential Units • Outdoor recreation/parks
Special Approval Uses	<ul style="list-style-type: none"> • Communication Antennas • Bed and Breakfast • Religious Institutions 	<ul style="list-style-type: none"> • Mixed Use (commercial/residential) • Retail • Restaurant • Hotel • Office • Financial Services/Bank • Personal Services • Appliance/Electronic Repair • Religious Institution • Government Operations Building



	Existing District R-3 High Density Residential	Potential District CBD Central Business District with Conditions (Oakland Street)
		<ul style="list-style-type: none"> • Museum/Art Gallery • Indoor Recreation/Community Center/Library • Outdoor Recreation/Public Park • Outreach Mission/Community Service Organization
Minimum Lot Size	6,000 square feet	None
Minimum Lot Width	60 feet	None
Minimum Setbacks	Front: 50 feet Side: 25% of the height of the building Rear: 25 feet	None
Maximum Lot Coverage	60%	100%
Maximum Building Height	35 feet 2.5 stories	35 feet Additional height approvable by Special Use
Residential Density	10 units per acre <i>25 units on site in question.</i>	No maximum, provided minimum unit size and building height meet requirements or are otherwise approved by Special Use Permit. <i>Limited to 66 total units by Conditional Rezoning Agreement</i>

ZONING DISTRICT COMPARISON

The two districts are surprisingly similar, at least on Oakland Street, where commercial uses require special use approval. CBD allows for more creative site design and higher density. Without the Conditional Rezoning Agreement, the CBD district would be risky – there would be few guardrails on the property owner with respect to density, and no required parking. But with the Conditional Rezoning Agreement, those issues are mitigated.



REVIEW CRITERIA FOR REZONING

When reviewing a rezoning request, the Planning Commission should consider the following criteria.

1. Consistency with the Master Plan.

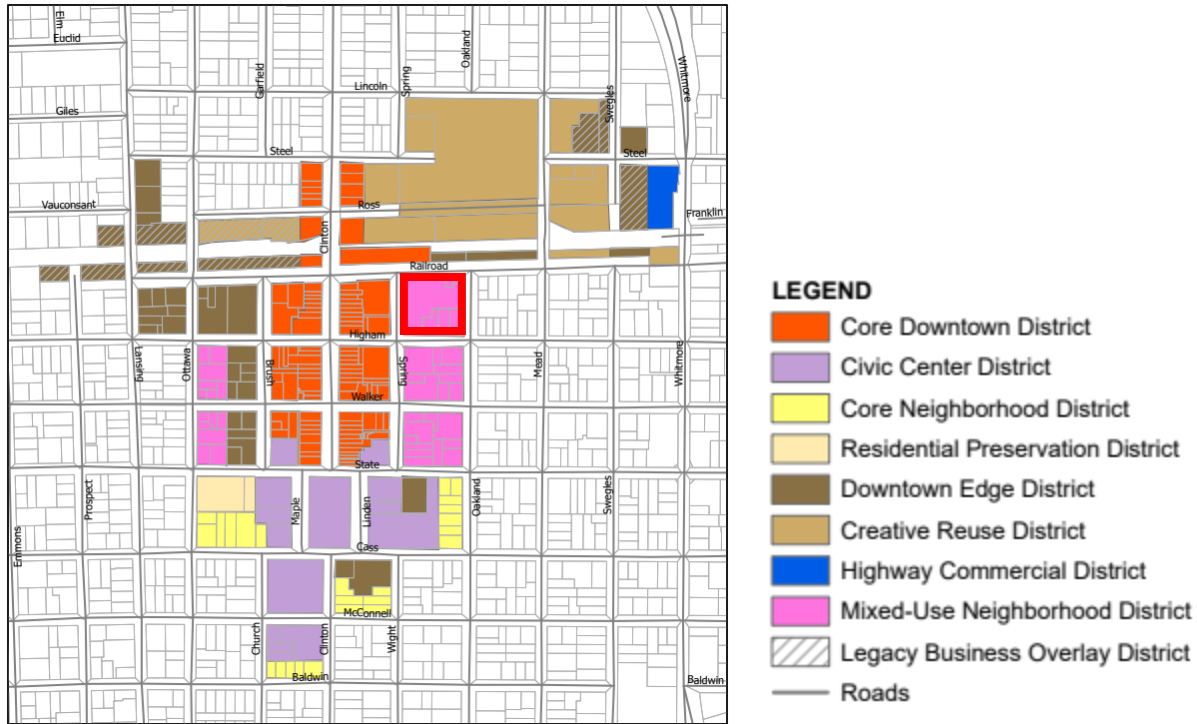
In order to be approved, a rezoning should be consistent with the Future Land Use Map in the Master Plan. The Future Land Use map designates the lot as “Downtown Edge/Mixed Use” as shown on the map below.

On Page 50, the Master Plan states that the appropriate land uses in the “Downtown Edge/Mixed Use” category are “uses that can serve as a transition between the downtown and the neighborhoods are encouraged. Uses should be a mix of commercial, professional offices, residential, technology, and civic.” The uses permitted in the CBD District are consistent with that list.

Importantly, the Zoning Plan on Page 16 states that CBD is an appropriate Zoning District for the Downtown Edge Future Land Use category.



The site in question is also within the area covered by the Downtown Master Plan. The Downtown Future Land Use map is shown below, with the site in question highlighted. The site in question is designated as Mixed Use Neighborhood. The Mixed-Use Neighborhood District borders allows for flexible development of both residential and office space.



Overall, this analysis determines that the conditional rezoning is consistent with the Master Plan.

2. **The Site’s Physical Compatibility with the Uses Permitted in the Zoning District.** The Planning Commission must consider whether the site can reasonably support the uses permitted in the proposed Zoning District, from a physical perspective.

The site contains the old FC Mason factory, which was converted to residential. It also contains The Flats apartment building. Combined, the two buildings contain 40 dwelling units, with enough space for a parking lot and green space on the site. The southeast corner of the site is vacant, and is where the applicant has proposed the new building. Even with 66 units, the site will still have green space and a parking lot containing one space per dwelling unit.

3. **Compatibility with Surrounding Uses.** The Planning Commission must consider whether all of the permitted uses in the proposed CBD District would be appropriate adjacent to the existing surroundings. The table below summarizes the land use attributes of the site and the surrounding properties.



	Zoning	Existing Land Uses	Future Land Use (Master Plan)	Downtown Plan
Subject Parcel	R-3	FC Mason Apartments The Flats Apartments	Downtown Edge/Mixed Use	Mixed Use Neighborhood
North	MC	Museum	Core Downtown	Core Downtown
	I-1	Trail/Park	Parks, Open Space, and Greenways	Downtown Edge
East	R-3	Residential	Traditional Walkable Residential	N/A
South	I-1	Maco Tool and Engineering	Downtown Edge/Mixed Use	Mixed Use Neighborhood
	R-3	Residential		
West	CBD	Library Parking Lot	Core Downtown	Core Downtown

The surrounding land uses are mixed use urbanism consistent with the edges of St. Johns’ downtown. They have been adjacent to the FC Mason building for decades – when it was industrial, when it was vacant, and now that it is residential. The Master Plan places them in a variety of mixed use categories – indicating that a mix of uses and urban character are envisioned for nearly all of the blocks. Even the residential areas are mostly zoned R-3, which is the City’s densest residential category.

Additionally, the CBD District gives the Planning Commission control over many of the specific uses on the site in question, through the Special Use process. Ultimately, the CBD district would not be incompatible with the surroundings.

4. **Most Appropriate Zoning District.** The Planning Commission must consider whether the CBD District is the most appropriate district for the uses desired on the site. Some other options exist to allow mixed uses on the site.
 - **The MU District** allows a wide variety of uses and envisions walkable character through its dimensional requirements. However, very importantly, it does not allow multi-family residential – only single family, duplexes, and townhouses.



- **A Planned Unit Development** would allow all aspects of the redevelopment to be governed in a single document. However, that option is unnecessarily complex when the CBD District is sufficient for the redevelopment, supported by the Master Plan, and not incompatible with the surroundings – especially if the City has a plan to ensure adequate parking.

5. **Infrastructure Capacity.** We are not aware of any infrastructure capacity issues that would restrict the allowable uses in the CBD District.

RECOMMENDATION

The CBD District is supported by the Master Plan, and allows uses that are compatible with the surroundings, especially with the added protection of the Special Use process. The Conditional Rezoning Agreement limits the proposed residential density and requires an appropriate amount of parking, on-site on private property. Therefore, we recommend that the Planning Commission recommend approval of the Conditional Rezoning to the City Commission.

Please do not hesitate to contact us with any questions.

Respectfully submitted,
McKENNA

Christopher Khorey, AICP
Senior Principal Planner



June 5, 2023

Planning Commission
City of St. Johns
100 E. State Street, Suite 1100
St. Johns, Michigan 48879

Subject: FC Mason Phase 3 Site Plan Review

Dear Commissioners,

As requested, we have reviewed the request to construct a new multi-family residential building as part of the conversion of the old FC Mason industrial facility into a residential complex. The building would represent Phase 3 of the redevelopment, and would contain 26 units – 11 two bedrooms and 15 one bedrooms.

The site is currently zoned R-3 Multi-Family Residential. However, the applicant is requesting a Conditional Rezoning to CBD in order to achieve the desired density. R-3 allows 10 units per acre, but the block the FC Mason redevelopment sits on is only 2.5 acres. Our review of the Conditional Rezoning Proposal, including the Conditional Rezoning Agreement, is under separate cover.

The CBD District allows all-residential buildings along Oakland Street, to if the Conditional Rezoning is approved, then the proposed 26 units will be a permitted use by right.

This Site Plan review assumes the Conditional Rezoning Agreement will be approved, because if the Conditional Rezoning is not approved, the proposed building is not a permitted use in R-3, and no Site Plan can be approved.

Our comments regarding the criteria for approving the Site Plan follow.

- 1) Lot Combination.** The FC Mason block (bounded by Spring, Railroad, Higham, and Oakland Streets), currently consists of four lots. We recommend that all lots be combined. That will reduce concerns about setbacks, and allow the three residential buildings and parking lot to be managed more easily as a single complex.

This review assumes the lot combination will be completed, because the existing property lines would create a need for numerous variances. The lot combination should be a condition of any site plan approval.

2) Dimensional Standards.

Standard Type	Ordinance Requirement (CBD)	FC Mason Phase 3	Ordinance Compliance
Minimum Lot Area	None	2.5 acres (full block)	Yes
Minimum Lot Width	None	330 feet (along Higham Street)	Yes



Minimum Front Yard Setback	<i>None</i>	Higham: ? Approximately 30 feet? Oakland: ? Approximately 5 feet? Railroad: >0 feet	<u>Yes, but the specific setbacks from Higham and Oakland must be noted on the plan.</u>
Minimum Side Yard Setback	<i>None</i>	<i>No Side Lot Lines</i>	Yes
Minimum Rear Yard Setback	<i>None</i>	<i>No Rear Lot Lines</i>	Yes
Maximum Building Height	Over 35 feet requires Special Use Permit	2 stories	<u>Need height in feet</u>
Maximum Lot Coverage	100%%	<100%	Yes
Maximum Residential Density	No Limit	26 units	Yes

3) Residential Unit Characteristics:

- a. **Mix of Units:** The proposal includes 26 units – 15 one bedrooms and 11 two bedrooms. Section 155.102.C limits one bedroom units to no more than 60% of the dwelling units in a building. 15 one-bedrooms is 57% of 26 total units, so this requirement is met.
- b. **Unit Sizes.** The minimum unit size is 500 square feet, unless the Planning Commission approves a Special Use permit. All units exceed 500 square feet, according to the submitted floor plans.

4) Parking, Loading, and Access.

- a. **Number of Spaces.** The Conditional Rezoning Agreement requires one parking space per unit (which is a concession by the applicant, because the CBD District generally does not require parking). There are 40 units in Phases 1 and 2, plus the 26 in Phase 3. There are 66 parking spaces in the lot at the northeast corner of the block, meeting the requirement.

There are also nearby on-street angled spaces, and the applicant is proposing 12 additional spaces be constructed on Oakland Street. While we support the angled parking, we recommend that it not be tied to the zoning approval, because the parking requirement is met on-site.

- b. **Barrier-Free Spaces. At least one parking space out of every 25 must be barrier-free (i.e. reserved for people with disabilities).** With 66 parking spaces, three barrier-free spaces are required. The required parking space is included in the existing parking lot, and on the plans. However, in order to reach the Phase 3 building on a barrier-free path, a resident parked in the



barrier-free spaces would have to out to the public sidewalk on Oakland Street, then back up a path to the building. A more direct barrier-free path must be constructed.

- c. **Dimensions.** The existing parking spaces and drive aisles meet the dimensional standard in the Zoning Ordinance and are not proposed to change.
- d. **Paving and Striping.** The existing parking lot is paved as required in Section 155.343.E.
- e. **Loading Spaces.** No loading spaces are required because the proposed building is residential.

5) **Landscaping and Screening.** The following landscaping is required.

- a. **Buffer Zone.** No buffer zone is required because the proposed building is residential.
- b. **Parking Lot Landscaping.** Within parking lot islands or within 15 feet of the parking lot, 1 tree per 8 spaces is required. There are 66 parking spaces, for a requirement of 8 trees. There are 5 trees adjacent to the parking lot shown on the plan. It appears that there are additional trees elsewhere near the parking lot, but they must be shown on the plan.
- c. **Right-of-Way Landscaping.** Along the right-of-way, 1 tree is required for every 30 feet of frontage. The tree can be planted in the public right-of-way with the permission of the City, or they can be planted on private property. For the purposes of this review, we are only evaluating the eastern half of the Higham block and the southern half of the Oakland block, which are the road frontages adjacent to the Phase 3 building. Each half-block is 180 feet long, for a requirement of 6 trees. There are four trees proposed along Higham (we are willing to count the one near the southwest corner of the building) and one along Oakland (this tree is also counted as a parking lot tree).

If the proposed angled parking is built along Oakland, there will not be space for any trees in the public right of way, nor will there be any space for trees in the small five-foot front setback. There are also power lines along Oakland. Given this, we recommend that no additional trees be required along Oakland.

Two additional trees must be added along Higham.

- d. **Landscaping Adjacent to Buildings.** Ornamental landscaping is required along the perimeter of buildings by Section 155.302. For residential buildings like the one proposed, the landscape area must be 15% the size of the building. In this case, that would be 1,710 square feet. The landscape area proposed (lining all sides of the building with shrubs) exceeds this requirement.
- e. **Tree Preservation.** The proposal preserves all of the landscape trees planted for previous phases, plus one street tree along Higham, which will be counted towards the right-of-way landscaping requirement.
- f. **Landscape Species.** The specific species of trees and shrubs proposed must be indicated on the plan.



- 6) **Lighting.** The locations of light fixtures have been included on the plans, but no spec sheets for the light fixtures and no photometric plan have been submitted, so we cannot determine whether the proposed lighting meets the requirements of Section 155.191. Spec sheets for all proposed exterior light fixtures, as well as a photometric plan, must be submitted.
- 7) **Building Design.** Section 155.196 includes requirements for new construction multi-family buildings. Building elevations have been submitted.
- a. **Exterior building material shall be composed of high quality, durable, low maintenance material, such as masonry, stone, brick, or glass to the extent that surrounding businesses and are composed of such.** The applicant has stated that the building materials will match the Phase 2 Building (“The Flats”). We recommend that that design be considered acceptable.
 - b. **The front facade of the building should address the main street with entrances, windows, and architectural features facing the street. No docking bays shall face the street, unless approved by the Planning Commission based upon a finding that the door is recessed back from the front facade and properly screened from public view.** No docking bays are proposed, so that portion of this standard is met. As for the rest, the Oakland Street frontage has plenty of windows and a welcoming front door, and meets this requirement. The Higham Street frontage is short on windows. Adding additional windows to the bedrooms of the end units would create a more attractive façade on Higham Street.
 - c. **All mechanical equipment, including but not limited to heating, ventilating and air conditioning equipment, and antennas, shall be placed in an inconspicuous location or screened from view. If equipment is placed on rooftops it shall also be screened from the public view in a manner that does not draw attention to the placement of the equipment.** Nothing on the site plan violates this requirement.
 - d. **Size and height of buildings should be compatible with the character and existing views of the surrounding areas as determined by the Planning Commission.** We recommend that the Planning Commission consider the size and height appropriate. Green space will be retained on the block, and, at two stories, the building will not tower over the two story homes across the street.
 - e. **The existing character of the site and the nearby area should be the starting point for the design of the building and all site treatment.** Matching the design of the Flats building ensures this requirement will be met.
- 8) **Trash Receptacles.** The existing dumpsters will be unchanged, and should be sufficient for this proposal.
- 9) **Signage.** No signage has been submitted. Signage may be approved separately through the sign permit process with the City administration.

RECOMMENDATION



We recommend that the Site Plan Approval be tabled until the applicant submits a revised plan addressing the concerns in this letter. In the meantime, the Conditional Rezoning can advance through the process.

Please let us know if you have any questions.

Respectfully submitted,
McKENNA

Christopher Khorey, AICP
Senior Principal Planner

§ 155.004 DEFINITIONS.

HOUSEKEEPING UNIT. A dwelling unit organized as a single entity in which the members share common kitchen facilities and have access to all parts of the dwelling.

INCARCERATED: A person currently serving a criminal sentence in a County, State, or Federal correctional facility.

INCINERATOR. A mechanical device and/or inclosing structure for the burning of refuse, collected or produced on the site.

§ 155.433 HOSPITAL FACILITIES SERVING PSYCHIATRIC AND INCARCERATED PATIENTS.

Hospital facilities for the purpose of serving psychiatric and incarcerated patients are a permitted by special use permit in the MC District provided:

(A) The total number of beds used for treating ~~psychiatric or~~ incarcerated patients does not exceed 20% of the total beds available at the hospital.

(B) Legal non-conforming facilities will not be required to obtain a special use permit unless they expand beyond the current number of beds being used for the care of psychiatric or incarcerated patients.

(C) The applicant shall demonstrate adequate provisions for securing those areas used for the treating of psychiatric or incarcerated patients.

(D) If the use for which this permit is issued is discontinued or reduced in size to an extent that a special use permit is not required for a period of one year, reestablishment or re-expansion of the use shall require approval of a new special use permit.

(Ord. 616, passed 9-23-2013)



Memorandum

TO: City of St. Johns Planning Commission

FROM: Christopher Khorey, AICP, Senior Principal Planner

SUBJECT: Chickens Ordinance

DATE: March 27, 2023

As requested, on the following pages, please find draft language to allow and regulate chickens on residential properties in the City. This language was approved in principal by both the Planning Commission and the City Commission in October of 2022, but a public hearing was never held, so it was not formally adopted.

The language is being presented to the Planning Commission at the April 12 meeting to ensure that it still reflects the consensus of the Commissioners. A public hearing will be scheduled for the May 10 meeting.

The Ordinance has some general language about animals as well, in order to give context to the chicken regulations. We have reviewed Chapter 92 (the City’s Animals Ordinance) and do not believe that this zoning language would contradict that Ordinance.

A few other notes:

- We recommend that the definition of “Pets” in this draft language replace the definition “Household Pets” in the current Zoning Ordinance. The proposed definition of pets is consistent with the current definition of “kennel” (any premises containing three or more dogs). The current language reads:

Animals or fowl ordinarily permitted in the house, and kept for company or pleasure, such as dogs, cats and canaries, but not including a sufficient number of dogs to constitute a kennel as defined in this chapter.

- The draft ordinance prohibits fur-bearing livestock within 500 feet of a dwelling unit, consistent with Chapter 92. The draft ordinance also allows bees to be kept in a rear yard.
- Regarding chickens, the Ordinance:
 - Requires a zoning permit to have chickens.
 - Allows chickens only in the R-1, R-2, and R-3 Zoning Districts.
 - Allows up to four chickens on lots under 1 acre.



- Allows up to six chickens on lots over 1 acre.
- Prohibits roosters.
- Prohibits slaughtering.
- Requires a covered enclosure (coop/run), with the following regulations:
 - Cannot be in the front yard.
 - Must be set back at least 10 feet from lot lines and 10 feet from the house.
 - Must be set back at least 40 feet from homes on neighboring properties.
 - Cannot exceed the maximum height for accessory structures.
 - Counts as a structure for the purposes of calculating lot coverage.
- Requires the chicken area to be constructed of durable materials and kept clean and neat, with food in sealed, rodent-proof containers.

Please let us know your feedback and questions.

Section 155.200 Keeping of Animals

(A) Definitions

- (1) **Domesticated Animals.** Animals taken care of in their day-to-day needs by humans.
- (2) **Pets.** A domesticated animal kept solely for companionship, recreation, and pleasure, regardless of the use of the property where the animal resides. Any animal may be considered a pet, provided that it meets this definition, and it is not listed as “Livestock” or an “Exotic or Wild Animal.” Examples include, but are not limited to: dogs, cats, birds, aquatic animals, rabbits, small rodents, and similar animals which do not present an unusual risk to persons or property.
- (3) **Livestock.** A domesticated animal raised for slaughter or kept for the purposes of contributing to an agricultural use through labor, breeding, or the production of milk, eggs, manure, wool, or other animal-based products. The following animals shall be considered livestock in all instances: cattle, horses, pigs, sheep, goats, and chickens.
- (4) **Exotic or Wild Animals.** Any animal not commonly (in Michigan) domesticated, raised for slaughter, or used for agricultural purposes, especially animals that pose a clear and present danger to humans. The following animals shall be considered exotic or wild animals in all instances: big cats, venomous snakes, birds of prey, primates, deer, racoons, and opossums.

(B) All domesticated animals must be kept in safe and sanitary conditions appropriate to their species and in compliance with all County, State, and Federal standards.

(C) The following domesticated animals may be kept on a residentially zoned lot.

(1) **Pets.** Up to three (3) pets may be kept in any dwelling unit. Animals under four months in age and animals that live full-time in an aquarium, cage, or terrarium shall not be counted towards the limit. Approved kennels may exceed those limits (see Section 155.437). Landlords, homeowners associations, or similar entities may regulate the number of pets per dwelling unit. Pets may only reside permanently on non-residential and non-agricultural property in approved kennels and retail operations that sell pets. The Zoning Administrator shall have the jurisdiction to determine that an animal is considered a pet under this ordinance, based on the definition in Subsection A. Appeals of the decision of the Zoning Administrator shall be to the Zoning Board of Appeals.

(2) **Livestock.**

(a) A Zoning Permit shall be required to keep livestock on a lot. The Zoning Administrator shall have the jurisdiction to determine that an animal is considered livestock under this ordinance, based on the definition in Subsection A. Appeals of the decision of the Zoning Administrator shall be to the Zoning Board of Appeals.

(b) **Fur-Bearing Livestock (Cattle, Sheep, Horses, Etc)** shall be prohibited within 500 feet of any dwelling unit.

(c) **Chickens.** Chickens shall only permitted in the following circumstances.

(i) Chickens shall only permitted in the R-1, R-2, and R-3 Zoning Districts. They shall be prohibited in all other zoning districts.

(ii) Lots under one acre shall be permitted to have up to four chickens. Lots over one acre shall be permitted to have up to six chickens.

- (iii) Roosters shall not be permitted.
- (iv) The slaughtering of any chicken is prohibited.
- (v) Chickens must be provided with and kept within a covered enclosure, including a coop and a run, at all times. Chickens shall not be allowed to roam the lot or any other property. The covered enclosure shall be exempt from the standards governing fences in Section 155.187, and shall instead be subject to the regulation of this section.
- (vi) The enclosed area where the chickens, including the coop and the run, are kept must meet the following standards:
 - 1) It shall not be located in a front yard.
 - 2) It shall be set back at least 10 feet from any lot line and any residence on the same lot as the chicken enclosure.
 - 3) It shall be set back at least 40 feet from any residence that is not on the same lot as the chicken enclosure.
 - 4) It shall not exceed the maximum allowable height for a detached accessory structure in the zoning district it is located within.
 - 5) It shall count as a structure for the purposes of calculating the maximum permitted lot coverage.
 - 6) It shall be maintained in a clean and neat manner at all times.
 - 7) The following materials shall not be used to construct the enclosed area: tarps, plastic, fabric, rubber, paper, cardboard, or other non-traditional building materials.
- (vii) Chicken feed must be kept in rodent-proof, sealed containers.
- (d) **Bees.** Bees may be kept on any lot, provided the bee enclosure is located in the rear yard and is set back at least 20 feet from any lot line.

(D) Exotic or Wild Animals shall not be kept as domesticated animals anywhere in the City. See Chapter 92 of the City Code of Ordinances.

(E) Kennels. See Section 155.437.



Memorandum

TO: City of St. Johns Planning Commission

FROM: Christopher Khorey, AICP, Senior Principal Planner

SUBJECT: **Chain Link Fences in Front Yards**

DATE: June 5, 2023

Section 155.187.M of the Zoning Ordinance states that “fences placed in a front yard or in the side yard of a corner lot that abuts a street right-of-way shall be decorative in nature.”

Subsection 4 of that section states “the use of wire fencing, including, but not limited to, so-called cyclone or chain link fencing, shall not be allowed on decorative fences.”

Together, these provisions have the impact of prohibiting chain link fences in front yards, City-wide, in St. Johns.

Recently, several property owners have expressed concerns about that rule, due to safety concerns for dogs, and the small side and rear yards that corner lots tend to have in the City.

At the June 14 meeting, the Planning Commission should discuss whether an amendment would be appropriate to allow chain link fences in front yards, or at least to allow them in some instances, such as on the street side yard of a corner lot.