

**Heather Hanover**  
*Chair*

**James Eshelman**  
*Vice-Chair*

**Commissioners**

**Scott Dzurka**, *Mayor*  
**Eric Hufnagel**, *City Commissioner*  
**Eric Harger**  
**Mark Holden**  
**Todd Krajniak**  
**Brian Mills**  
**Vacant**



**Chad A. Gamble**  
*City Manager*

**Mindy J. Seavey**  
*City Clerk*

**Kristina Kinde**  
*City Treasurer*

**Michael Homier**  
*City Attorney*

**Christopher Khorey, AICP**  
*Planning Consultant*

## PLANNING COMMISSION

**October 8, 2025**

The St. Johns Planning Commission will hold a regular meeting on  
October 8, 2025 at 5:30 pm in the County Commission Chambers located at the  
Clinton County Courthouse, 100 E. State Street, St. Johns, MI. (Please use Cass St. Entrance.)

### **AGENDA**

1. Call to Order (5:30 p.m.)
2. Approval of Agenda (5:31-5:32 p.m.)
3. Approval of Minutes (September 10, 2025, Meeting) (5:33-5:35 p.m.)
4. Public comment for non-agenda items (5:35-5:40 p.m.)
5. Public Hearings:
  - a. **Amendment to the City's Zoning Map:** Parcels 300-004-300-093-51, 300-004-300-099-03, and 300-004-300-100-01 (5:41-5:50 p.m.)
  - b. **Rezoning from MC to R-1:** 823 N. Lansing Street (5:50-6:00 p.m.)
6. New Business:
  - a. **Amendment to the City's Zoning Map:** Parcels 300-004-300-093-51, 300-004-300-099-03, and 300-004-300-100-01 (6:00 – 6:10 p.m.) (ACTION ITEM)
  - b. **Rezoning from MC to R-1:** 823 N. Lansing Street (6:10 – 6:20 p.m.) (ACTION ITEM)
  - c. **Revision to Approved Site Plan/Sidewalk Waiver:** Journey Federal Credit Union, 1200 Zeeb Drive (6:20 – 6:40 p.m.) (ACTION ITEM)
7. Old Business:
  - a. Discussion of Outdoor Seating Amendment (6:40-6:50 p.m.)
8. Committee Site Plan Approvals: None
9. City Commission Update – Mayor Dzurka (6:50 – 6:55 p.m.)
10. Commissioner Comments. (6:55– 7:00 p.m.)
11. Adjournment (7:00 pm) Next Meeting: November 12, 2025

**Heather Hanover**  
*Chair*

**James Eshelman**  
*Vice-Chair*

**Commissioners**

**Scott Dzurka**, *Mayor*  
**Eric Hufnagel**, *Commissioner*  
**Mark Holden**  
**Eric Harger**  
**Brian Mills**  
**Todd Krajniak**  
**Vacant**



**PLANNING COMMISSION**

**SEPTEMBER 10, 2025**  
**REGULAR MEETING MINUTES**

**1. CALL TO ORDER**

The meeting of the St. Johns Planning Commission was called to order by Chair Hanover at 5:32 p.m.

Members Present: Heather Hanover, Mark Holden, Eric Hufnagel, Brian Mills, Scott Dzurka, Eric Harger, James Eshelman, Todd Krajniak

Members Absent: None

Staff Present: Chad Gamble, City Manager; Mindy J. Seavey, City Clerk; Jake VanBoxel, McKenna

**2. APPROVAL OF AGENDA**

Motion by Commissioner Hufnagel seconded by Commissioner Dzurka to approve the agenda as presented.

YEA: Hanover, Harger, Holden, Hufnagel, Eshelman, Mills, Dzurka, Krajniak

NAY: None

Motion carried.

**3. APPROVAL OF MINUTES – AUGUST 13, 2025 MEETING**

Motion by Commissioner Mills seconded by Commissioner Harger to approve the minutes as presented.

YEA: Hanover, Harger, Holden, Hufnagel, Eshelman, Mills, Dzurka, Krajniak

NAY: None

Motion carried.

**4. PUBLIC COMMENT FOR NON-AGENDA ITEMS**

Chairperson Hanover asked if there were any public comments.

There were no public comments.

## **5. PUBLIC HEARINGS: None**

## **6. NEW BUSINESS:**

### **A. Master Plan: Approval for Distribution**

City Manager Gamble said the master plan is a large process and we have been working on it for a year. He discussed: 2½ months of weekly meetings going through in detail the individual list of objectives; coordination of including the Parks and Recreation plan as well; the DNR requires the municipality to have a list of projects underneath the parks and recreation plan in order for projects to be grant eligible; and the timeline of the process.

There was a discussion of:

- The public comment period.
- Parks and Recreation Master Plan.
- Goals on pages 13-25 and using different adjectives.
- Location & investment standpoint.
- How the document will come back to the Planning Commission (tracked changes or new document).
- Rolling out projects to service groups.

Motion by Commissioner Hufnagel seconded by Commissioner Eshelman that the planning commission go forward with the distribution of the City of St. Johns Master Plan.

YEA: Hanover, Harger, Holden, Hufnagel, Eshelman, Mills, Dzurka, Krajniak

NAY: None

Motion carried.

### **B. Rental Inspection Checklist Amendments**

Fire Chief & Rental Inspector Douglas was present. He discussed proposed changes to the rental inspection checklist. He said the big push is safety for tenants and residents.

There was a discussion of:

- GFCI language.
- Furnace inspections.
- Carbon monoxide detectors.
- Fire extinguishers.
- Landlords.
  - Getting information out to them.
- Fee structure.
- Building Code update at city commission level.

### **C. Discussion of Unzoned City-Owned Parcels**

Jake VanBoxel, McKenna, discussed: zoning map amendment; section that does not indicate what the 11 acres is zoned as; all 3 parcels are zoned as industrial; an amendment of the zoning map; and their recommendation would be to amend the map accordingly.

There was a discussion of:

- Setting a public hearing.

Motion by Commissioner Dzurka seconded by Commissioner Hufnagel that the planning commission set a public hearing for October 8, 2025.

YEA: Hanover, Harger, Holden, Hufnagel, Eshelman, Mills, Dzurka, Krajniak

NAY: None  
Motion carried.

## **7. OLD BUSINESS:**

### **A. Discussion of Outdoor Seating Amendment**

Chairperson Hanover said the DDA would like to look at it also if it is going to be in the CBD (Central Business District).

City Manager Gamble discussed the DDA and setting downtown esthetics; and ADA issues.

There was a discussion of:

- Proposed new regulations.

## **8. COMMITTEE SITE PLAN APPROVALS: None**

## **9. CITY COMMISSION UPDATE – MAYOR DZURKA:**

Mayor Dzurka discussed: the city commission passed the golf cart ordinance at the last meeting; we are getting national news attention from the golf carts (CBS News); we are working with Chief Douglas on potential revisions to the fire code; and the commission passed the vendor truck ordinance introduction.

There was a discussion of the vacancy on the planning commission.

## **10. COMMISSIONER COMMENTS**

There were no commissioner comments.

## **11. ADJOURNMENT**

Motion by Commissioner Dzurka seconded by Commissioner Eshelman that the Planning Commission adjourn the meeting.

YEA: Hanover, Harger, Holden, Hufnagel, Eshelman, Mills, Dzurka, Krajniak

NAY: None

Motion carried.

The meeting was adjourned at 7:10 p.m.



## **CITY OF ST. JOHNS, MICHIGAN, PLANNING COMMISSION**

### **NOTICE OF PUBLIC HEARING FOR REZONING APPROVAL**

PLEASE TAKE NOTICE that the City of St. Johns Planning Commission will hold a Public Hearing on Wednesday, October 8, 2025 at 5:30 p.m. in the 2nd Floor County Commissioner Chambers (#2200) at the Clinton County Courthouse, 100 E. State Street, St. Johns, MI. The public notice is regarding a proposed rezoning of the following properties, which are currently unzoned in whole or in part, to I-1 Industrial – High Performance:

- Parcel Number 300-004-300-093-51
- Parcel Number 300-004-300-099-03
- Parcel Number 300-004-300-100-01

All related documentation may be reviewed, and written comments will be accepted at the St. Johns City Hall, 100 E. State St., St. Johns, between the hours of 8:00 a.m. and 4:00 p.m. during all scheduled days of operation.

Any party having an interest in the matter may attend the Public Hearing and make their comments known to the Planning Commission. Individuals with disabilities needing special accommodations to fully participate in the meeting may contact the Office of the City Clerk to request the necessary assistance. This request must be made at least two business days prior to the meeting.

Mindy Seavey, City Clerk  
CITY OF ST. JOHNS



Michigan

PO Box 630491 Cincinnati, OH 45263-0491

GANNETT

## **AFFIDAVIT OF PUBLICATION**

ALS CITY OF ST JOHNS/LEG  
City Of St Johns/Legals  
Po Box 477  
Saint Johns MI 48879-0477

STATE OF WISCONSIN, COUNTY OF BROWN

The Lansing State Journal, a newspaper published in the city of Lansing, Ingham County, State of Michigan, and personal knowledge of the facts herein state and that the notice hereto annexed was Published in said newspapers in the issue:

09/22/2025

and that the fees charged are legal.

Subscribed and sworn to before me on 09/22/2025

Legal Clerk

Notary, State of WI, County of Brown

My commission expires

Publication Cost: \$209.75  
Tax Amount: \$0.00  
Payment Cost: \$209.75  
Order No: 11675215  
Customer No: 1187536  
PO #: #25043

# of Copies:

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CITY OF ST. JOHNS,  
MICHIGAN, PLANNING  
COMMISSION  
NOTICE OF PUBLIC HEARING  
FOR REZONING APPROVAL  
PLEASE TAKE NOTICE that  
the City of St. Johns Plan-  
ning Commission will hold a  
Public Hearing on Wednes-  
day, October 8, 2025 at 5:30  
p.m. in the 2nd Floor County  
Commissioner Chambers  
(#2200) at the Clinton  
County Courthouse, 100 E.  
State Street, St. Johns, MI.  
The public notice is regard-  
ing a proposed rezoning of  
the following properties,  
which are currently unzoned  
in whole or in part, to I-1  
Industrial - High Perform-  
ance:  
• Parcel Number 300-004-  
300-093-51  
• Parcel Number 300-004-  
300-099-03  
• Parcel Number 300-004-  
300-100-01  
All related documentation  
may be reviewed, and writ-  
ten comments will be  
accepted at the St. Johns  
City Hall, 100 E. State St.,  
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hours of 8:00 a.m. and 4:00  
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assistance. This request  
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business days prior to the  
meeting.  
Mindy Seavey, City Clerk  
CITY OF ST. JOHNS  
#11675215; 9/22/2025

KONGMENG YANG  
Notary Public  
State of Wisconsin

**CITY OF ST. JOHNS, MICHIGAN, PLANNING COMMISSION**

**NOTICE OF PUBLIC HEARING  
FOR REZONING APPROVAL**

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All related documentation may be reviewed, and written comments will be accepted at the St. Johns City Hall, 100 E. State St., St. Johns, between the hours of 8:00 a.m. and 4:00 p.m. during all scheduled days of operation.

Any party having an interest in the matter may attend the Public Hearing and make their comments known to the Planning Commission. Individuals with disabilities needing special accommodations to fully participate in the meeting may contact the Office of the City Clerk to request the necessary assistance. This request must be made at least two business days prior to the meeting.

Mindy Seavey, City Clerk  
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ALS CITY OF ST JOHNS/LEG  
City Of St Johns/Legals  
Po Box 477  
Saint Johns MI 48879-0477

STATE OF WISCONSIN, COUNTY OF BROWN

The Lansing State Journal, a newspaper published in the city of Lansing, Ingham County, State of Michigan, and personal knowledge of the facts herein state and that the notice hereto annexed was Published in said newspapers in the issue:

09/18/2025

and that the fees charged are legal.  
Subscribed and sworn to before me on 09/18/2025

### **CITY OF ST. JOHNS, MICHIGAN, PLANNING COMMISSION NOTICE OF PUBLIC HEARING FOR REZONING APPROVAL**

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Mindy Seavey, City Clerk  
CITY OF ST. JOHNS  
LSJ-11672017 09/18/2025

Legal Clerk

Notary, State of WI, County of Brown

9-3-29

My commission expires

Publication Cost: \$192.50

Tax Amount: \$0.00

Payment Cost: \$192.50

Order No: 11672017

# of Copies:

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1

PO #: 25042

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KONGMENG YANG  
Notary Public  
State of Wisconsin



# Memorandum

**TO:** City of St. Johns Planning Commission  
**FROM:** Jacob VanBoxel, MSA, Principal Planner  
**SUBJECT:** Zoning Map Amendment: I1 Industrial Property 300-004-300-093-51  
**DATE:** September 2, 2025

## Background:

There is a portion of the St. Johns Industrial Park that is not currently identified on the City's Zoning Map. The unidentified area is owned by three (3) property owners (including the City of St. Johns), consists of roughly 11-acres, and the land is currently zoned **I1 Industrial – High Performance**.

- **Property #1** (Parcel Number 300-004-300-093-51): is owned by the **City of St. Johns** and consists of 30.88-acres in total.
- **Property #2** (Parcel Number 300-004-300-099-03): is owned by **Glanbia Delaware Inc.** and consists of 63.25-acres in total.
- **Property #3** (Parcel Number 300-004-300-100-01): is owned by **Proliant Dairy Michigan LLC** and consists of 11.67-acres in total.

Parcel reports from the Clinton County GIS system have been attached to this memo for each of the properties.





**Recommended Action:**

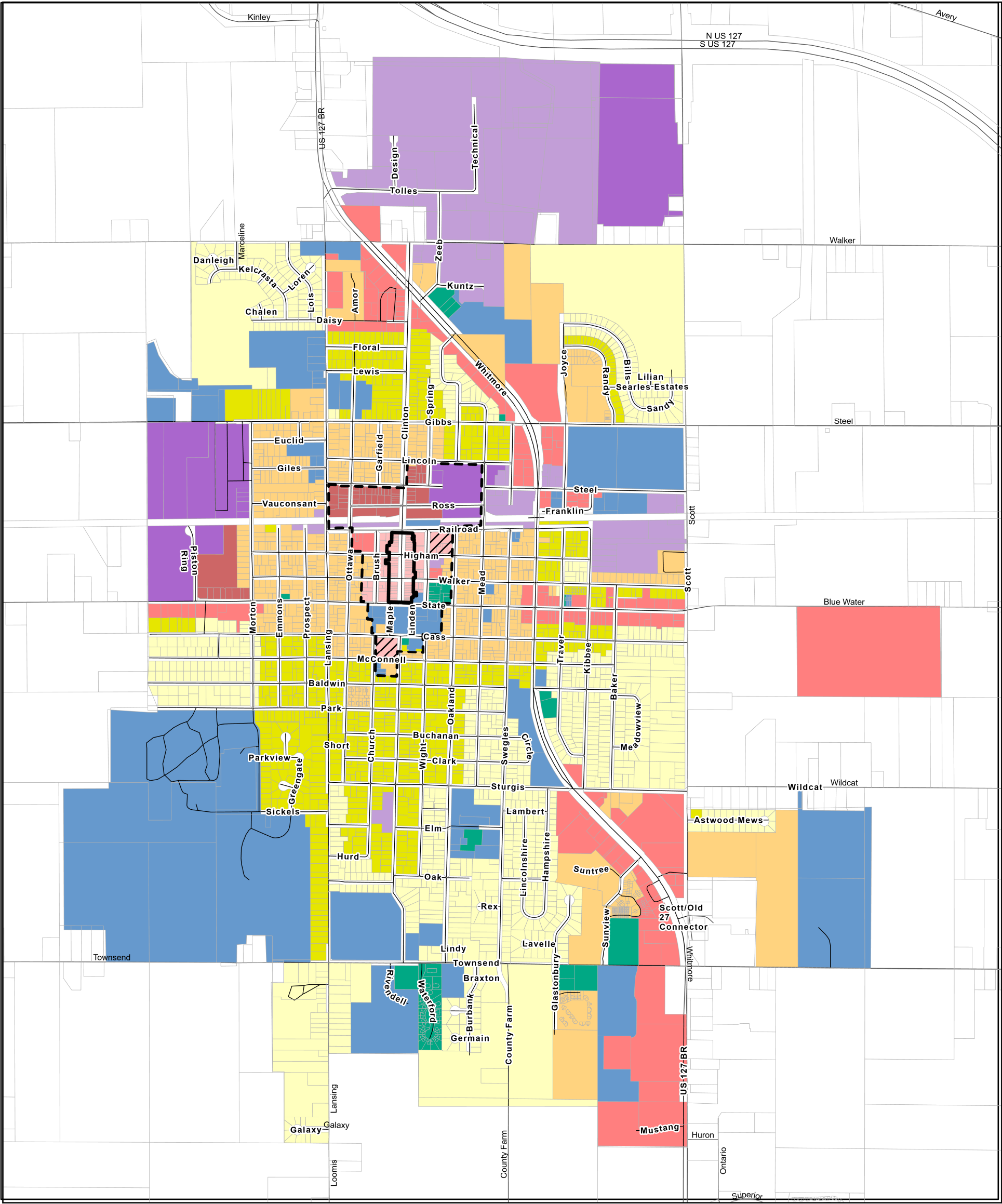
An amendment should be made to the City's Zoning Map to identify the roughly 11-acres as part of the *I1-Industrial - High Performance* zoning district.

**An amended version of the Zoning Map has been attached for your review.**

At the September 10, 2025 meeting, the Planning Commission should vote to hold a public hearing for the map amendment during the October 8, 2025 meeting. Upon conclusion of the public hearing, the Planning Commission should recommend action by the City Commission to adopt the amended Zoning Map.

McKenna staff will publish a public hearing notice in accordance with the Michigan Zoning Enabling Act (Public Act 110 of 2006), upon conclusion of the September 10, 2025 Planning Commission meeting.





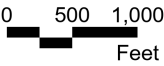
# Zoning Map

City of St. Johns, Michigan

September 2, 2025

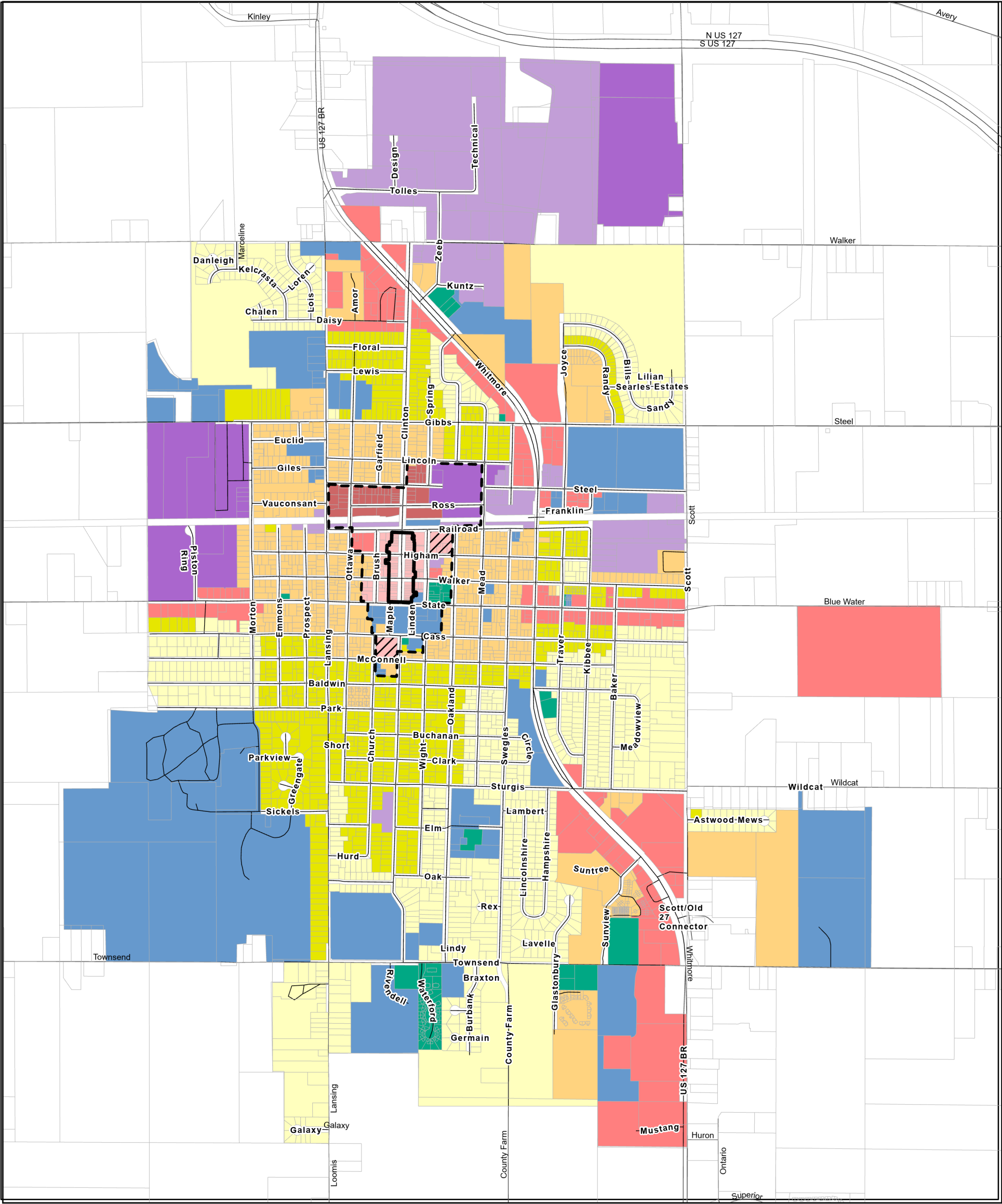
## LEGEND

- R1 - Low Density Residential
- R2 - Medium Density Residential
- R3 - High Density Residential
- CBD - Central Business District
- GC - General Commercial
- MU - Mixed Use
- I1 - Industrial - High Performance
- I2 - Industrial - Liberal Performance
- O - Office
- MC - Municipal Center



Basemap Source: Michigan Center for Geographic Information, v. 17a.  
Data Source: Clinton County 2021. McKenna 2023.





# Zoning Map

City of St. Johns, Michigan

March 19, 2025

## LEGEND

- R1 - Low Density Residential
- R2 - Medium Density Residential
- R3 - High Density Residential
- CBD - Central Business District
- GC - General Commercial
- MU - Mixed Use
- I1 - Industrial - High Performance
- I2 - Industrial - Liberal Performance
- O - Office
- MC - Municipal Center

0 500 1,000  
Feet



Basemap Source: Michigan Center for Geographic Information, v. 17a.  
Data Source: Clinton County 2021. McKenna 2023.



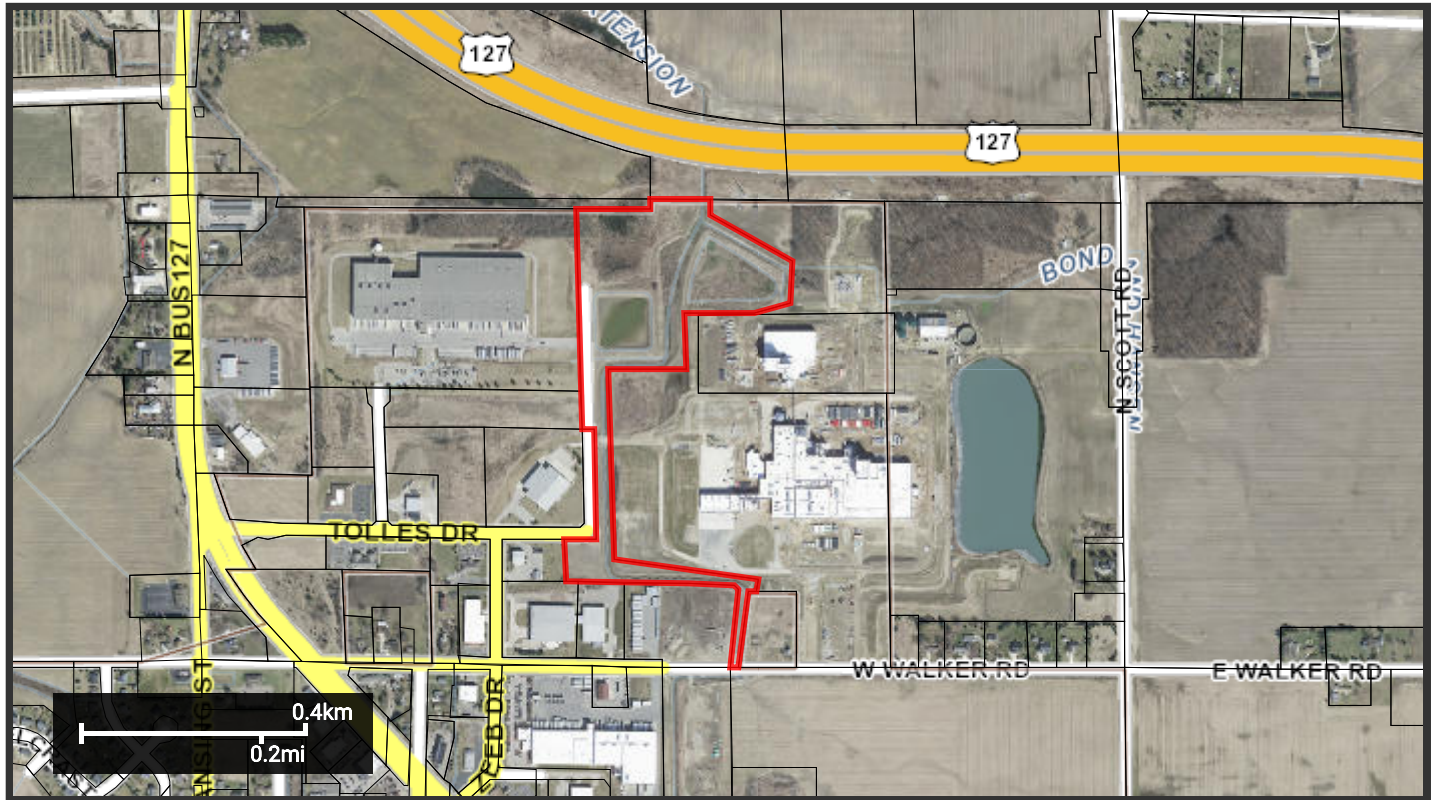




# Clinton County GIS

Parcel Report: 300-004-300-093-51

9/2/2025  
11:57:14 AM



## Property Address

N US127 BR  
ST JOHNS, MI, 48879

## Owner Address

CITY OF ST JOHNS  
--  
100 E STATE ST PO BOX 477  
ST JOHNS, MI 48879

Unit:	300
Unit Name:	CITY OF ST JOHNS

## General Information for 2025 Tax Year

Parcel Number:	300-004-300-093-51
Property Class:	202

Class Name:	COMMERCIAL VACANT
School Dist Code:	19140
School Dist Name:	ST JOHNS PUBLIC SCHOOLS

PRE 2024:	0%
PRE 2025:	0%

Assessed Value:	\$0
Taxable Value:	\$0
State Equalized Value:	\$0

Prev Year Info

Prev Year Info	MBOR Assessed	Final SEV	Final Taxable
2024	\$0	\$0	\$0
2023	\$0	\$0	\$0

Land Information

Acreage:	30.88
Zoning:	I-1

Tax Description

A PARCEL OF LAND IN THE SE 1/4 OF THE SW 1/4 OF SEC 4; DESC AS BEG AT THE S 1/4 COR OF SD SEC; TH N 01 DEG 22' 07" W 479.39 FT; TH N 89 DEG 04' 45" W 542.27 FT; TH N 01 DEG 22' 07" W 240.91 FT TO THE SLY ROW LINE OF TOLLES DR; TH S 89 DEG 05' 45" E ALG SLY LINE 183.90 FT TO THE ELY ROW OF TECHNICAL DR; TH N 01 DEG 22' 07" W ALG SD ELY LINE 1453.01 FT; TH S 89 DEG 24' 51" E PARALLEL WITH THE E-W 1/4 LINE OF SD SEC 358.30 FT; TH N 01 DEG 22' 07" W 499.03 FT; TH S 89 DEG 24' 48" E 345.35 FT; TH S 04 DEG 17' 12" E 91.09 FT; TH S 60 DEG 38' 30" E 531.89 FT; TH S 03 DEG 18' 39" W 236.19 FT; TH S 74 DEG 47' 02" W 213.84 FT; TH S 88 DEG 31' 15" W 399.27 FT; TH S 01 DEG 22' 07" E 316.37 FT; TH N 89 DEG 24' 24" W 439.21 FT; TH S 01 DEG 22' 07" E 1087.59 FT; TH S 82 DEG 00' 00" E 833.98 FT; TH S 08 DEG 00' 00" W 77.36 FT; TH N 89 DEG 42' 05" W 50.15 FT; TH S 06 DEG 34' 51" W 430.02 FT; TH N 89 DEG 42' 05" W 442.74 FT TO P OF BEG & INCLUDING PARCEL 2 -NEW TECHNICAL DRIVE ROW 2003. COMM AT A PT S 499.03 FT & W 426.60 FT FROM THE CTR OF SEC 4 T7N, R2W TH S 816.35 FT, TH E 66.05 FT, TH N 816.88 FT, TH W 66 FT TO THE POB TECHNICAL DR EXTENSION & INCLUDING PARCEL 1 - WETLAND & WETLAND CONSERVATION EASEMENT COM AT A PT SE 59.03 FT FROM CENTER SEC 4 TH S 440 FT, W 426.60 FT, N 440 FT, E 424.34 FT TO POB DETENTION POND SEC 4 T7N R2WSPLIT/COMBINED ON 09/26/2018 FROM 300-004-300-091-00, 300-004-300-092-00, 300-004-300-093-50, 300-004-300-099-00, 300-004-300-100-00, 300-004-300-101-00;

Sales Information

No Records Found	
Tax History	*Total Due as of settlement date

Tax Details 2024 Summer

School Dist. Code:	19140
School Dist. Name:	ST JOHNS PUBLIC SCHOOLS
Property Class:	202
Class Name:	COMMERCIAL VACANT
Last Payment Date:	
Base Tax:	\$0.00
Admin Fees:	\$0.00
Interest Fees:	\$0.00
Total Tax & Fees:	\$0.00
Assessed Value:	\$0
Taxable Value:	\$0
State Equalized Value:	\$0
Exemption Percent:	0%
Base Paid:	\$0.00
Admin Fees Paid:	\$0.00
Interest Fees Paid:	\$0
Total Paid:	\$0.00

Tax Items 2024 Summer

Tax Source	Millage Rate	Tax Amt.	Base Amt. Paid
S J CITY ALLOC	9.7818	0.00	\$0.00

S J ACT 359	0.174	0.00	\$0.00
S J SOLID WASTE	1.1	0.00	\$0.00
CLINTON COUNTY	5.7866	0.00	\$0.00
STATE EDUC TAX	6	0.00	\$0.00
STREET IMPROVMTS	2.9913	0.00	\$0.00

### Tax Details 2023 Winter

School Dist. Code:	19140
School Dist. Name:	ST JOHNS PUBLIC SCHOOLS
Property Class:	202
Class Name:	COMMERCIAL VACANT

Last Payment Date:

Base Tax:	\$0.00
Admin Fees:	\$0.00
Interest Fees:	\$0.00
Total Tax & Fees:	\$0.00
Assessed Value:	\$0
Taxable Value:	\$0
State Equalized Value:	\$0
Exemption Percent:	0%

Base Paid:	\$0.00
Admin Fees Paid:	\$0.00
Interest Fees Paid:	\$0
Total Paid:	\$0.00

### Tax Items 2023 Winter

Tax Source	Millage Rate	Tax Amt.	Base Amt. Paid
CLINTON COUNTY	0.0811	0.00	\$0.00
E-911	0.8384	0.00	\$0.00
CLINTON TRANSIT	0.6924	0.00	\$0.00
BRIGGS LIBRARY	0.7401	0.00	\$0.00
S J SCH DEBT	7	0.00	\$0.00
S J SCH OPER	18	0.00	\$0.00
CL RESA ALLOC	0.2	0.00	\$0.00
CL RESA SPEC ED	2.5733	0.00	\$0.00
CL RESA VOC ED	0.9804	0.00	\$0.00
S J SCH OPER FC	18	0.00	\$0.00

Tax Details 2023 Summer

School Dist. Code:	19140
School Dist. Name:	ST JOHNS PUBLIC SCHOOLS
Property Class:	202
Class Name:	COMMERCIAL VACANT
Last Payment Date:	
Base Tax:	\$0.00
Admin Fees:	\$0.00
Interest Fees:	\$0.00
Total Tax & Fees:	\$0.00
Assessed Value:	\$0
Taxable Value:	\$0
State Equalized Value:	\$0
Exemption Percent:	0%
Base Paid:	\$0.00
Admin Fees Paid:	\$0.00
Interest Fees Paid:	\$0
Total Paid:	\$0.00

Tax Items 2023 Summer

Tax Source	Millage Rate	Tax Amt.	Base Amt. Paid
S J CITY ALLOC	9.8103	0.00	\$0.00
S J ACT 359	0.1848	0.00	\$0.00
S J SOLID WASTE	0.7	0.00	\$0.00
CLINTON COUNTY	5.7189	0.00	\$0.00
STATE EDUC TAX	6	0.00	\$0.00
STREET IMPROVMTS	3	0.00	\$0.00

Application Use:

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GIS/Mapping:

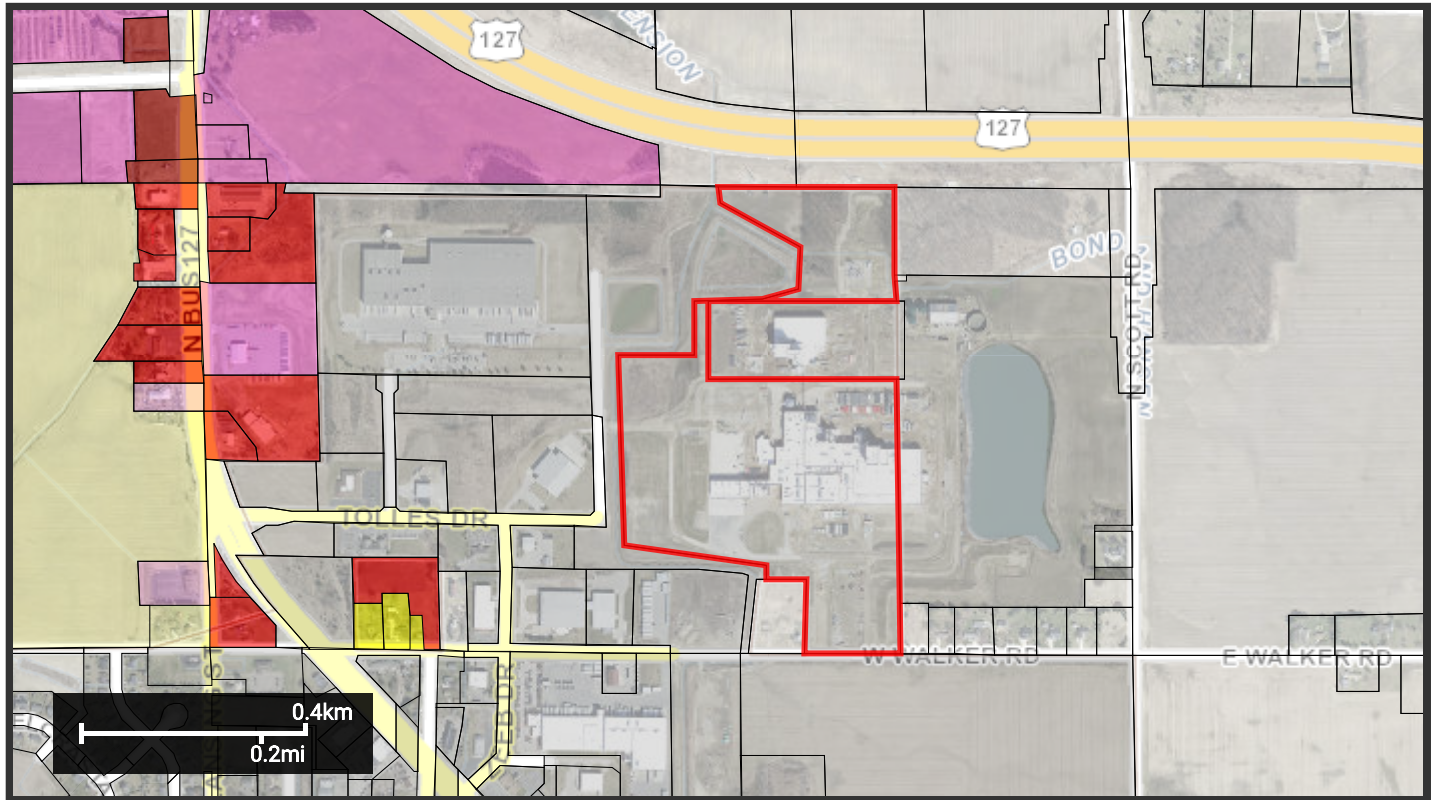
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# Clinton County GIS

Parcel Report: 300-004-300-099-03

9/2/2025  
12:47:07 PM



## Property Address

1640 TECHNICAL DR

--, --, --

## Owner Address

GLANBIA DELAWARE INC

--

1640 TECHNICAL DR

ST JOHNS, MI 48879

Unit: 300

Unit Name: CITY OF ST JOHNS

## General Information for 2025 Tax Year

Parcel Number: 300-004-300-099-03

Property Class: 301

Class Name:	INDUSTRIAL REAL
School Dist Code:	19140
School Dist Name:	ST JOHNS PUBLIC SCHOOLS

PRE 2024:	0%
PRE 2025:	0%

Assessed Value:	\$183,400
Taxable Value:	\$183,400
State Equalized Value:	\$183,400

Prev Year Info

Prev Year Info	MBOR Assessed	Final SEV	Final Taxable
2024	\$183,400	\$183,400	\$183,400
2023	\$183,400	\$183,400	\$183,400

Land Information

Acreage:	63.25
Zoning:	I-1

Tax Description



A PARCEL OF LAND IN SE 1/4 OF THE SW 1/4 OF SEC 4; DESC AS COM AT THE S 1/4 COR OF SD SEC; TH S 89 DEG 42' 05" E 772 FT TO POB; TH N 00 DEG 17' 55" E 427.44 FT; TH N 89 DEG 42' 05" W 232.06 FT; TH N 08 DEG 00' 00" E 77.36 FT; TH N 82 DEG 00' 00" W 833.98 FT; TH N 01 DEG 22' 07" W 1087.59 FT; TH S 89 DEG 24' 24" E 439.21 FT; TH N 01 DEG 22' 07" W 316.37 FT; TH N 88 DEG 31' 15" E 399.27 FT; TH N 74 DEG 47' 02" E 213.84 FT; TH N 03 DEG 18' 39" E 236.19 FT; TH N 60 DEG 38' 30" W 531.89 FT; TH N 04 DEG 17' 12" W 91.09 FT; TH S 89 DEG 24' 48" E 1006.08 FT; TH S 00 DEG 49' 55" E 2667.03 FT; TH N 89 DEG 42' 05" W 554.22 FT TO P OF BEG & EXCEPT A PARCEL OF LAND IN THE SE 1/4 OF THE SW 1/4 OF SEC 4; DESC AS COM AT THE S 1/4 COR OF SD SEC; TH N 01 DEG 22' 07" W ALG THE N-S 1/4 LINE OF SD SEC 1564.81 FT; TH E 249.48 FT TO POB; TH N 450 FT; TH E 1130 FT; TH S 450 FT; TH W 1130 FT TO P OF BEG SEC 4 T7N R2WSPLIT/COMBINED ON 09/26/2018 FROM 300-004-300-091-00, 300-004-300-092-00, 300-004-300-093-50, 300-004-300-099-00, 300-004-300-100-00, 300-004-300-101-00;

Sales Information

Sale Date:	09-13-2018
Sale Price:	75000
Instrument:	WD
Grantor:	CITY OF ST JOHNS
Grantee:	GLANBIA DELAWARE INC
Terms of Sale:	21-NOT USED/OTHER
Liber/Page:	5271332

Tax History \*Total Due as of settlement date

Tax Details 2024 Winter	
School Dist. Code:	19140
School Dist. Name:	ST JOHNS PUBLIC SCHOOLS
Property Class:	301
Class Name:	INDUSTRIAL REAL
Last Payment Date:	February 28, 2025
Base Tax:	\$1,283.80
Admin Fees:	\$12.83
Interest Fees:	\$0.00
Total Tax & Fees:	\$1,296.63
Assessed Value:	\$183,400
Taxable Value:	\$183,400
State Equalized Value:	\$183,400
Exemption Percent:	0%
Base Paid:	\$1,283.80
Admin Fees Paid:	\$12.83
Interest Fees Paid:	\$0
Total Paid:	\$1,296.63

Tax Items 2024 Winter



Tax Source	Millage Rate	Tax Amt.	Base Amt. Paid
E-911	0	0.00	\$0.00
CLINTON TRANSIT	0	0.00	\$0.00
BRIGGS LIBRARY	0	0.00	\$0.00
S J SCH DEBT	7	1,283.80	\$1,283.80
S J SCH OPER	0	0.00	\$0.00
CL RESA ALLOC	0	0.00	\$0.00
CL RESA SPEC ED	0	0.00	\$0.00
CL RESA VOC ED	0	0.00	\$0.00
S J SCH OPER FC	0	0.00	\$0.00

**Tax Details 2024 Summer**

School Dist. Code:	19140
School Dist. Name:	ST JOHNS PUBLIC SCHOOLS
Property Class:	301
Class Name:	INDUSTRIAL REAL

Last Payment Date:

Base Tax:	\$0.00
Admin Fees:	\$0.00
Interest Fees:	\$0.00
Total Tax & Fees:	\$0.00
Assessed Value:	\$183,400
Taxable Value:	\$183,400
State Equalized Value:	\$183,400
Exemption Percent:	0%

Base Paid:	\$0.00
Admin Fees Paid:	\$0.00
Interest Fees Paid:	\$0
Total Paid:	\$0.00

**Tax Items 2024 Summer**

Tax Source	Millage Rate	Tax Amt.	Base Amt. Paid
S J CITY ALLOC	0	0.00	\$0.00
S J ACT 359	0	0.00	\$0.00
S J SOLID WASTE	0	0.00	\$0.00
CLINTON COUNTY	0	0.00	\$0.00
STATE EDUC TAX	0	0.00	\$0.00

STREET IMPROVMTS	0	0.00	\$0.00
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## Tax Details 2023 Winter

School Dist. Code:	19140
School Dist. Name:	ST JOHNS PUBLIC SCHOOLS
Property Class:	301
Class Name:	INDUSTRIAL REAL

Last Payment Date:	December 13, 2023
--------------------	-------------------

Base Tax:	\$1,283.80
Admin Fees:	\$12.83
Interest Fees:	\$0.00
Total Tax & Fees:	\$1,296.63
Assessed Value:	\$183,400
Taxable Value:	\$183,400
State Equalized Value:	\$183,400
Exemption Percent:	0%

Base Paid:	\$1,283.80
Admin Fees Paid:	\$12.83
Interest Fees Paid:	\$0
Total Paid:	\$1,296.63

## Tax Items 2023 Winter

Tax Source	Millage Rate	Tax Amt.	Base Amt. Paid
CLINTON COUNTY	0	0.00	\$0.00
E-911	0	0.00	\$0.00
CLINTON TRANSIT	0	0.00	\$0.00
BRIGGS LIBRARY	0	0.00	\$0.00
S J SCH DEBT	7	1,283.80	\$1,283.80
S J SCH OPER	0	0.00	\$0.00
CL RESA ALLOC	0	0.00	\$0.00
CL RESA SPEC ED	0	0.00	\$0.00
CL RESA VOC ED	0	0.00	\$0.00
S J SCH OPER FC	0	0.00	\$0.00

## Tax Details 2023 Summer

School Dist. Code:	19140
School Dist. Name:	ST JOHNS PUBLIC SCHOOLS
Property Class:	301
Class Name:	INDUSTRIAL REAL

Last Payment Date:

Base Tax:	\$0.00
Admin Fees:	\$0.00
Interest Fees:	\$0.00
Total Tax & Fees:	\$0.00
Assessed Value:	\$183,400
Taxable Value:	\$183,400
State Equalized Value:	\$183,400
Exemption Percent:	0%

Base Paid:	\$0.00
Admin Fees Paid:	\$0.00
Interest Fees Paid:	\$0
Total Paid:	\$0.00

### Tax Items 2023 Summer

Tax Source	Millage Rate	Tax Amt.	Base Amt. Paid
S J CITY ALLOC	0	0.00	\$0.00
S J ACT 359	0	0.00	\$0.00
S J SOLID WASTE	0	0.00	\$0.00
CLINTON COUNTY	0	0.00	\$0.00
STATE EDUC TAX	0	0.00	\$0.00
STREET IMPROVMTS	0	0.00	\$0.00

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### GIS/Mapping:

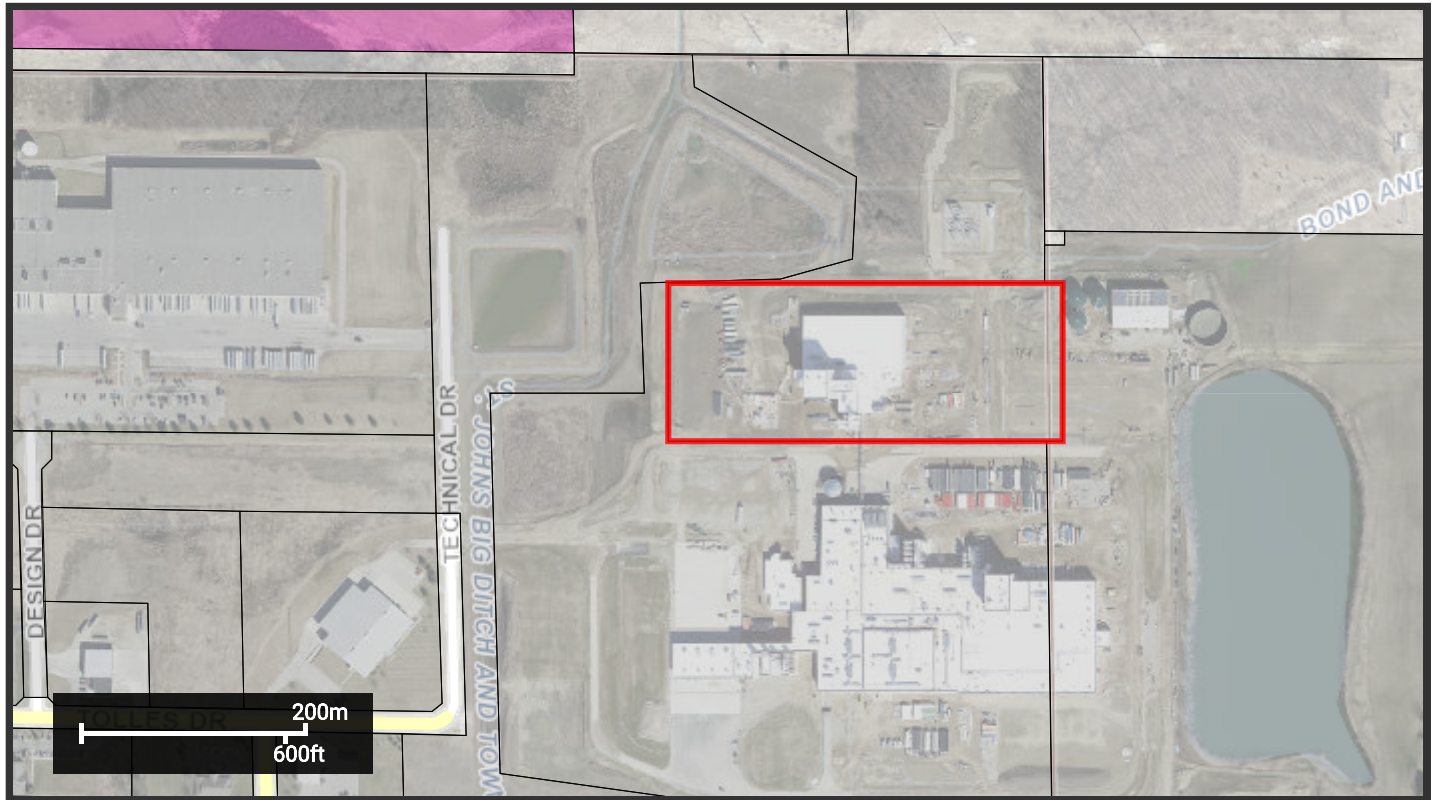
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# Clinton County GIS

Parcel Report: 300-004-300-100-01

9/2/2025  
12:46:07 PM



## Property Address

1660 TECHNICAL DR  
ST JOHNS, MI, 48879

## Owner Address

PROLIANT DAIRY MICHIGAN LLC  
--  
2425 SE OAK TREE CT  
ANKENY, IA 50021

Unit:	300
Unit Name:	CITY OF ST JOHNS

## General Information for 2025 Tax Year

Parcel Number:	300-004-300-100-01
Property Class:	301

Class Name:	INDUSTRIAL REAL
School Dist Code:	19140
School Dist Name:	ST JOHNS PUBLIC SCHOOLS

PRE 2024:	0%
PRE 2025:	0%

Assessed Value:	\$48,300
Taxable Value:	\$44,557
State Equalized Value:	\$48,300

### Prev Year Info

Prev Year Info	MBOR Assessed	Final SEV	Final Taxable
2024	\$51,700	\$51,700	\$43,218
2023	\$47,500	\$47,500	\$41,160

### Land Information

Acreage:	11.67
Zoning:	I-1

### Tax Description

A PARCEL OF LAND IN THE SE 1/4 OF THE SW 1/4 OF SEC 4; DESC AS COM AT THE S 1/4 COR OF SD SEC; TH N 01 DEG 22' 07" W ALG THE N-S 1/4 LINE OF SD SEC 1564.81 FT; TH E 249.48 FT TO POB; TH N 450 FT; TH E 1130 FT; TH S 450 FT; TH W 1130 FT TO P OF BEG SEC 4 T7N R2WSPLIT/COMBINED ON 09/26/2018 FROM 300-004-300-091-00, 300-004-300-092-00, 300-004-300-093-50, 300-004-300-099-00, 300-004-300-100-00, 300-004-300-101-00;

Sales Information

Sale Date: 12-21-2018

Sale Price: 116029  
Instrument: CD  
Grantor: SPARTAN MICHIGAN LLC  
Grantee: PROLIANT DAIRY MICHIGAN LLC  
Terms of Sale: 03-ARM'S LENGTH  
Liber/Page: 5274631

Tax History \*Total Due as of settlement date

Tax Details 2024 Winter

School Dist. Code:	19140
School Dist. Name:	ST JOHNS PUBLIC SCHOOLS
Property Class:	301
Class Name:	INDUSTRIAL REAL
Last Payment Date:	January 7, 2025
Base Tax:	\$302.52
Admin Fees:	\$3.02
Interest Fees:	\$0.00
Total Tax & Fees:	\$305.54
Assessed Value:	\$51,700
Taxable Value:	\$43,218
State Equalized Value:	\$51,700
Exemption Percent:	0%
Base Paid:	\$302.52
Admin Fees Paid:	\$3.02
Interest Fees Paid:	\$0
Total Paid:	\$305.54

Tax Items 2024 Winter

Tax Source	Millage Rate	Tax Amt.	Base Amt. Paid
E-911	0	0.00	\$0.00
CLINTON TRANSIT	0	0.00	\$0.00
BRIGGS LIBRARY	0	0.00	\$0.00
S J SCH DEBT	7	302.52	\$302.52
S J SCH OPER	0	0.00	\$0.00

CL RESA ALLOC	0	0.00	\$0.00
CL RESA SPEC ED	0	0.00	\$0.00
CL RESA VOC ED	0	0.00	\$0.00
S J SCH OPER FC	0	0.00	\$0.00

**Tax Details 2024 Summer**

School Dist. Code:	19140
School Dist. Name:	ST JOHNS PUBLIC SCHOOLS
Property Class:	301
Class Name:	INDUSTRIAL REAL

Last Payment Date:

Base Tax:	\$0.00
Admin Fees:	\$0.00
Interest Fees:	\$0.00
Total Tax & Fees:	\$0.00
Assessed Value:	\$51,700
Taxable Value:	\$43,218
State Equalized Value:	\$51,700
Exemption Percent:	0%

Base Paid:	\$0.00
Admin Fees Paid:	\$0.00
Interest Fees Paid:	\$0
Total Paid:	\$0.00

**Tax Items 2024 Summer**

Tax Source	Millage Rate	Tax Amt.	Base Amt. Paid
S J CITY ALLOC	0	0.00	\$0.00
S J ACT 359	0	0.00	\$0.00
S J SOLID WASTE	0	0.00	\$0.00
CLINTON COUNTY	0	0.00	\$0.00
STATE EDUC TAX	0	0.00	\$0.00
STREET IMPROVMTS	0	0.00	\$0.00

**Tax Details 2023 Winter**

School Dist. Code:	19140
School Dist. Name:	ST JOHNS PUBLIC SCHOOLS
Property Class:	301
Class Name:	INDUSTRIAL REAL

Last Payment Date:	December 11, 2023
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Base Tax:	\$288.12
Admin Fees:	\$2.88
Interest Fees:	\$0.00
Total Tax & Fees:	\$291.00
Assessed Value:	\$47,500
Taxable Value:	\$41,160
State Equalized Value:	\$47,500
Exemption Percent:	0%

Base Paid:	\$288.12
Admin Fees Paid:	\$2.88
Interest Fees Paid:	\$0
Total Paid:	\$291.00

### Tax Items 2023 Winter

Tax Source	Millage Rate	Tax Amt.	Base Amt. Paid
CLINTON COUNTY	0	0.00	\$0.00
E-911	0	0.00	\$0.00
CLINTON TRANSIT	0	0.00	\$0.00
BRIGGS LIBRARY	0	0.00	\$0.00
S J SCH DEBT	7	288.12	\$288.12
S J SCH OPER	0	0.00	\$0.00
CL RESA ALLOC	0	0.00	\$0.00
CL RESA SPEC ED	0	0.00	\$0.00
CL RESA VOC ED	0	0.00	\$0.00
S J SCH OPER FC	0	0.00	\$0.00

### Tax Details 2023 Summer



School Dist. Code:	19140
School Dist. Name:	ST JOHNS PUBLIC SCHOOLS
Property Class:	301
Class Name:	INDUSTRIAL REAL

Last Payment Date:

Base Tax:	\$0.00
Admin Fees:	\$0.00
Interest Fees:	\$0.00
Total Tax & Fees:	\$0.00
Assessed Value:	\$47,500
Taxable Value:	\$41,160
State Equalized Value:	\$47,500
Exemption Percent:	0%

Base Paid:	\$0.00
Admin Fees Paid:	\$0.00
Interest Fees Paid:	\$0
Total Paid:	\$0.00

### Tax Items 2023 Summer

Tax Source	Millage Rate	Tax Amt.	Base Amt. Paid
S J CITY ALLOC	0	0.00	\$0.00
S J ACT 359	0	0.00	\$0.00
S J SOLID WASTE	0	0.00	\$0.00
CLINTON COUNTY	0	0.00	\$0.00
STATE EDUC TAX	0	0.00	\$0.00
STREET IMPROVMTS	0	0.00	\$0.00

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**MCKENNA**

September 30, 2025

Planning Commission  
City of St. Johns  
100 E. State Street, #1100  
St. Johns, MI 48879

**Subject: Proposed Rezoning of 823 N. Lansing St.**

Dear Commissioners,

As requested, we have reviewed the above referenced application for the rezoning of 823 N. Lansing St. (Parcel number: 300-021-200-050-11) from MC – Municipal Center to the R-1 – Low-Density Residential District.

The lot is outlined (approximately) on the aerial photo below. This rezoning is requested so that a single-family dwelling may be constructed on the lot, currently in a Zoning District where dwelling units are not permitted.



**GRAND RAPIDS**  
124 East Fulton Street  
6th Floor, Suite B  
Grand Rapids, Michigan 49503

○ 616.226.6375  
F 248.596.0930  
**MCKA.COM**

**Communities for real life.**



Below is the current zoning map of the area. The parcel in question is highlighted.

**LEGEND**

- R1 - Low Density Residential
- R2 - Medium Density Residential
- R3 - High Density Residential
- CBD - Central Business District
- GC - General Commercial
- MU - Mixed Use
- I1 - Industrial - High Performance
- I2 - Industrial - Liberal Performance
- O - Office
- MC - Municipal Center



**ZONING DISTRICT COMPARISON**

The chart below compares the existing MC District to the proposed R-1 District. When considering a rezoning, the Planning Commission must take into account all potential uses under the new zoning classification, not merely the use the applicant has expressed interest in.

	<i><b>Existing District MC – Municipal Center</b></i>	<i><b>Proposed District R-1 – Low-Density Residential</b></i>
<b>Permitted Uses</b>	<ul style="list-style-type: none"> <li>• Accessory uses and buildings.</li> <li>• Cemeteries.</li> <li>• Childcare centers.</li> <li>• Christmas tree sales.</li> <li>• Continuation of present residential uses.</li> <li>• Essential services.</li> <li>• Fences.</li> <li>• Fraternal, armory and legion halls.</li> <li>• Funeral homes and mortuaries.</li> <li>• Gas regulator stations, utility pumping stations, power</li> </ul>	<ul style="list-style-type: none"> <li>• Residence, one-family.</li> <li>• Adult foster care family home or adult foster care small group home.</li> <li>• Customary agricultural operations; however, farm animals are prohibited.</li> <li>• Family childcare home.</li> <li>• Essential services, such as gas regulator stations, utility dumping stations, power substations, and water towers; provided these uses are necessary for service to the</li> </ul>



	<b><i>Existing District MC – Municipal Center</i></b>	<b><i>Proposed District R-1 – Low-Density Residential</i></b>
	<p>substations and water towers necessary for service to the adjacent area.</p> <ul style="list-style-type: none"> <li>• Government offices and facilities including police and fire halls, Department of Public Works, water plants and fire halls, Department of Public Works, water plants and wells, sewage treatment facilities and municipally owned utilities.</li> <li>• Hospitals and quasi-public health care clinics.</li> <li>• Non-municipally owned public utility offices, and substations, excluding warehouses and heavy equipment storage.</li> <li>• Off-street parking.</li> <li>• Parks and playgrounds not conducted for profit.</li> <li>• Religious institutions.</li> <li>• Schools, including day nurseries, elementary, junior high, primary and high schools.</li> <li>• Signs.</li> <li>• Swimming pools.</li> <li>• Temporary building structures or yards.</li> </ul>	<p>adjacent residential area. If these uses are to service a larger area, a special use permit is required.</p> <ul style="list-style-type: none"> <li>• Home occupations.</li> </ul>
<b>Special Approval Uses</b>	<ul style="list-style-type: none"> <li>• Communication antenna (not including towers).</li> <li>• Gas regulator stations, utility pumping stations, power substations and water towers not necessary for service to the adjacent residential area.</li> </ul>	<ul style="list-style-type: none"> <li>• Communication antennas (not including towers).</li> <li>• Gas regulator stations, utility pumping stations, power substations and water towers not necessary for service to the adjacent residential area.</li> <li>• Group day care home.</li> </ul>



	<b><i>Existing District MC – Municipal Center</i></b>	<b><i>Proposed District R-1 – Low-Density Residential</i></b>
	<ul style="list-style-type: none"><li>• Hospital facilities serving psychiatric and incarcerated patients.</li></ul>	<ul style="list-style-type: none"><li>• Two-family dwellings consequent to a conversion of a single-family dwelling existing on the effective date of this chapter, provided that: The floor area is not increased thereby.</li><li>• Religious institutions.</li></ul>
<b>Minimum Lot Size</b>	6,000 square feet	7,500 square feet
<b>Minimum Lot Width</b>	60 feet	75 feet
<b>Minimum Setbacks</b>	Front: 50 feet Side: 10 feet (minimum) Rear: 25 feet	Front: 25 feet Side: 10 feet (20 street side) Rear: 35 feet
<b>Maximum Lot Coverage</b>	60%	40%
<b>Maximum Building Height</b>	35 feet 2.5 stories	30 feet 2.5 stories
<b>Residential Density</b>	Not Permitted	1 unit per lot

The two districts are somewhat similar in regard to Special Land Uses and minimum dimensional requirements, though differs in many other aspects. The current MC District does not permit any dwelling units, which causes issues in the attempt to rebuild the house that formerly at on the property. The proposed R-1 District would permit the single-family dwelling unit to be completely reconstructed and still be in compliance with the requirements of the Zoning Ordinance.





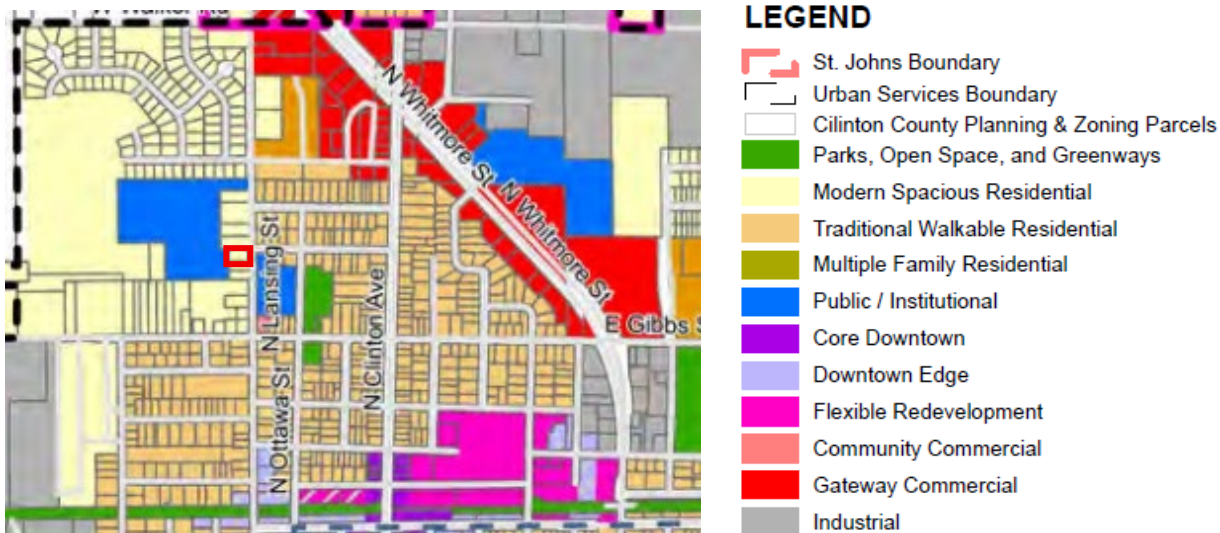
## REVIEW CRITERIA FOR REZONINGS

When reviewing a rezoning request, the Planning Commission should consider the following criteria.

### 1. Consistency with the Master Plan.

In order to be approved, a rezoning should be consistent with the Future Land Use Map in the Master Plan. The current Future Land Use map designates the lot as “Modern Spacious Residential” as shown on the map below.

On Page 44, the Master Plan states that the appropriate land uses in the “Modern Spacious Residential” category are “detached single family residential dwelling units, two-family attached residential dwelling units, schools, parks, and other compatible municipal and civic uses.” The uses permitted in the R-1 District are consistent with that list in that R-1 allows single-family dwellings.



### 2. The Site's Physical Compatibility with the Uses Permitted in the Zoning District. The Planning Commission must consider whether the site can reasonably support the uses permitted in the proposed Zoning District, from a physical perspective.

- **Natural Features:** The subject site is a vacant, formerly residential lot that appears to contain an accessory shed. It is flat and does not contain protected wetlands or other natural features that would restrict development.
- **Road Network:** The site fronts Lansing Street, which runs North to South from Old US-127 to West Parks Road. It is not a major thoroughfare, but it does provide efficient access to Old US-127, which in turn provides efficient access to most destinations in St. Johns. The site has sufficient width and length for a driveway to be constructed for the parcel, as the remains of the former driveway are still in place.



3. **Compatibility with Surrounding Uses.** The Planning Commission must consider whether all of the permitted uses in the proposed R-1 District would be appropriate adjacent to the existing surroundings. The table below summarizes the land use attributes of the site and the surrounding properties.

	Current Zoning	Existing Land Uses	Future Land Use (Master Plan)
Subject Parcel	MC	Vacant/Residential	Modern Spacious Residential
North	MC	Residential	Modern Spacious Residential
East	R-2	Residential	Traditional Walkable Residential
South	MC	Residential	Modern Spacious Residential
West	MC	Public School	Public/Institutional

The surrounding land uses on all sides are residential uses, with the exception of the Public School to the West of the site. Since all of these residential parcels along Lansing St. are also zoned MC, it is recommended to rezone these parcels to a residential district in order to prevent spot zoning concerns and to restore the right of these property owners to retain their continuing residential uses.

4. **Most Appropriate Zoning District.** The parcel's future land use designation as Modern Spacious Residential strongly suggests being zoned as the R-1 – Low Density Residential district.
5. **Infrastructure Capacity.** We are not aware of any infrastructure capacity issues that would restrict the allowable uses in the R-1 District. The site has access to public water and sewer without needing any extensions of that system.

### RECOMMENDATION

We recommend that the Planning Commission recommend the rezoning to the City Commission, in addition to considering rezonings for adjacent MC-zoned parcels to the R-1 District.

Please do not hesitate to contact us with any questions.

Respectfully submitted,  
**McKENNA**

Christopher Khorey, AICP  
Vice President

Ethan Walthorn,  
Assistant Planner



## Executive Summary

**Project:** Journey Federal Credit Union – 1200 Zeeb Dr., St. Johns, MI

**Action Requested:** Planning Commission – *Revision to Approved Site Plan* & Waiver of §155.201 (Sidewalks)

## What changed on the building?

- No new enclosed interior floor area.
- Limited roofed coverage only (two small entry features + short drive-thru canopy extension): +254 SF (~2.72%) total
  - o Components: 113 SF (drive-thru), 96 SF (main entry), 45 SF (employee entry)
  - o Building coverage: 9,346 SF → 9,600 SF

## What the ordinance now requires:

- 6'7"-6" of sidewalk across three frontages: Old US-27 258'-2", Zeeb 175'-9", Kuntz 237'-7".

## Trigger Chain

- The small exterior addition led to Administrative Site Plan Review where §155.201 sidewalk rule attaches ("whenever site plan approval is required").
- If the work had been interior-only, a site plan wouldn't have been required and §155.201 wouldn't apply.

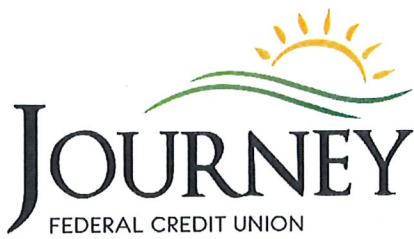
## Why a waiver is warranted

- A 2.72% roofed-coverage change should not compel 6'7"-6" of off-site construction; the requirement is not reasonably proportional to the project's size or impact.
- Cost context: sidewalks \$70,618 vs. exterior entry/canopy work ~\$80,000 (similar order of magnitude).
- Proportionality exists elsewhere in code: landscaping compliance scales to project size; the same lens should apply to sidewalks.
- Supporting conditions: utilities, hydrants, drainage, signage, and trees complicate installation (see annotated plan).

## Requested outcome:

- **Primary:** Please grant a full waiver on the basis that the sidewalk obligation is not reasonably proportional to the project's 2.72% roofed-coverage increase (+254 sf) and would require 6'7"-6" of new sidewalks across three frontages.
- **If a full waiver is not acceptable:** Please approve a deferred/conditional obligation—a staff-administered "build-when-adjacent-connects" commitment so sidewalks are constructed when a continuous network reaches the site.





*Discover the possibilities*

September 10, 2025

Planning Commission  
City of St. Johns  
100 E State St  
Suite #1100  
St Johns, MI 48879

Re: Revision to Approved Site Plan & Waiver Request — §155.201 Sidewalk Requirement (1200 Zeeb Dr.)

Dear Commissioners,

Thank you for the work you do for St. Johns. I'm writing as the CEO of Journey Federal Credit Union regarding our Zeeb Drive project. The improvements authorized under the prior site plan approval are complete. Because the ordinance assigns sidewalk waivers to the Planning Commission, we are submitting a Revision to the Approved Site Plan limited to the §155.201 sidewalk item and requesting your consideration of a waiver.

#### **Project Scale**

The project added no new enclosed interior floor area. It introduced only limited roofed coverage, two small entry features and a short drive-through canopy extension, totaling 254 square feet ( $\approx 2.72\%$ ) of building coverage.

#### **Why that Matters**

In plain terms, proportionality means the City's requirements should be in the same ballpark as the size and impact of the project. Here, a 2.72% coverage change is being matched with 671'-6" of new sidewalk construction.

Under §155.201, that small change triggers sidewalk along three frontages: Old US-27 (258'-2"), Zeeb (175'-9"), and Kuntz (237'-7"). We respect the City's commitment to walkability, but that level of off-site construction is not commensurate with a modest, 2.72% exterior adjustment.

#### **Cost Context**

Our architect's estimate to install the sidewalks is \$70,618. The exterior entry and canopy work that created the 254 square feet of coverage cost about \$80,000. In practical terms, the sidewalk obligation is nearly the same order of magnitude as our entire exterior refresh, triggered by only a very small change.

#### **Why this was Triggered**

The sidewalk rule applies "whenever a site plan approval (of any type) is required." In our case, the small exterior addition required Administrative Site Plan Review because it was an addition to the geographic footprint. That administrative review is what, in turn,



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triggered §155.201. If the project had been interior-only, it would typically proceed by zoning permit (no site plan), and the sidewalk provision would not apply.

#### **Existing Conditions (Supporting Only)**

There are also real-world snags, utility poles and overhead lines (especially near Old US-27 and Zeeb), drainage/ditches, hydrants, an electrical cabinet, signage, and existing trees. We offer those details as background rather than the core of our ask; our core point is proportionality.

#### **Proportionality Already Exists in the Code**

The code's landscaping section scales compliance to the size of a project: when an increase is less than 25%, the requirement is 4% compliance for each 1% increase in building or parking footprint. We're asking the Commission to apply that same proportional lens to sidewalks: a 2.72% roofed-coverage change should not compel 6'7"-6" of sidewalk construction.

#### **Requested outcome**

The ordinance expressly allows the Planning Commission to waive sidewalk installation based on specified criteria and to add reasonable conditions as needed. As such, we respectfully request the following:

- Primary: Please grant a full waiver of §155.201 for 1200 Zeeb Drive because a 2.72% change to our building should not trigger 6'7"-6" of sidewalks; the requirement isn't reasonably proportional to the size or impact of our project.
- If a full waiver isn't acceptable: Approve a staff-administered "build-when-adjacent-connects" commitment so sidewalks are installed later when a continuous network reaches the site.

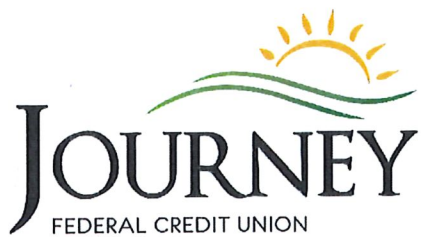
We've attached a one-page summary and three exhibits from our architect that make the numbers clear at a glance. We value our partnership with the city and want to support your long-term goals in a way that's practical and fair to everyone involved.

Thank you for your consideration.

Jeffrey Kusler

Chief Executive Officer  
Journey FCU | *Discover the Possibilities*  
p. 989.227.3729 | c. 517.643.4181 | f. 989.224.6596  
[jeffrey@JourneyFCU.org](mailto:jeffrey@JourneyFCU.org) |

Enclosures



*Discover the possibilities*

1. Executive Summary
2. Exhibit A: Before/After Footprint Diagram (K4)
  - Shows 9,346 SF → 9,600 SF (+254 SF  $\approx$  2.72%) and 113/96/45 SF components.
3. Exhibit B: Sidewalk Frontage & Existing Conditions Plan (K4)
  - Old US-27 258'-2", Zeeb 175'-9", Kuntz 237'-7"; Total 671'-6"; utilities/obstacles labeled.
4. Exhibit C: Cost Summary Sidewalk vs. Improvements (K4)
  - Sidewalks \$70,618; exterior entry/canopy  $\approx$  \$80,000.





## DATA

### EXISTING AND NEW FOOTPRINT:

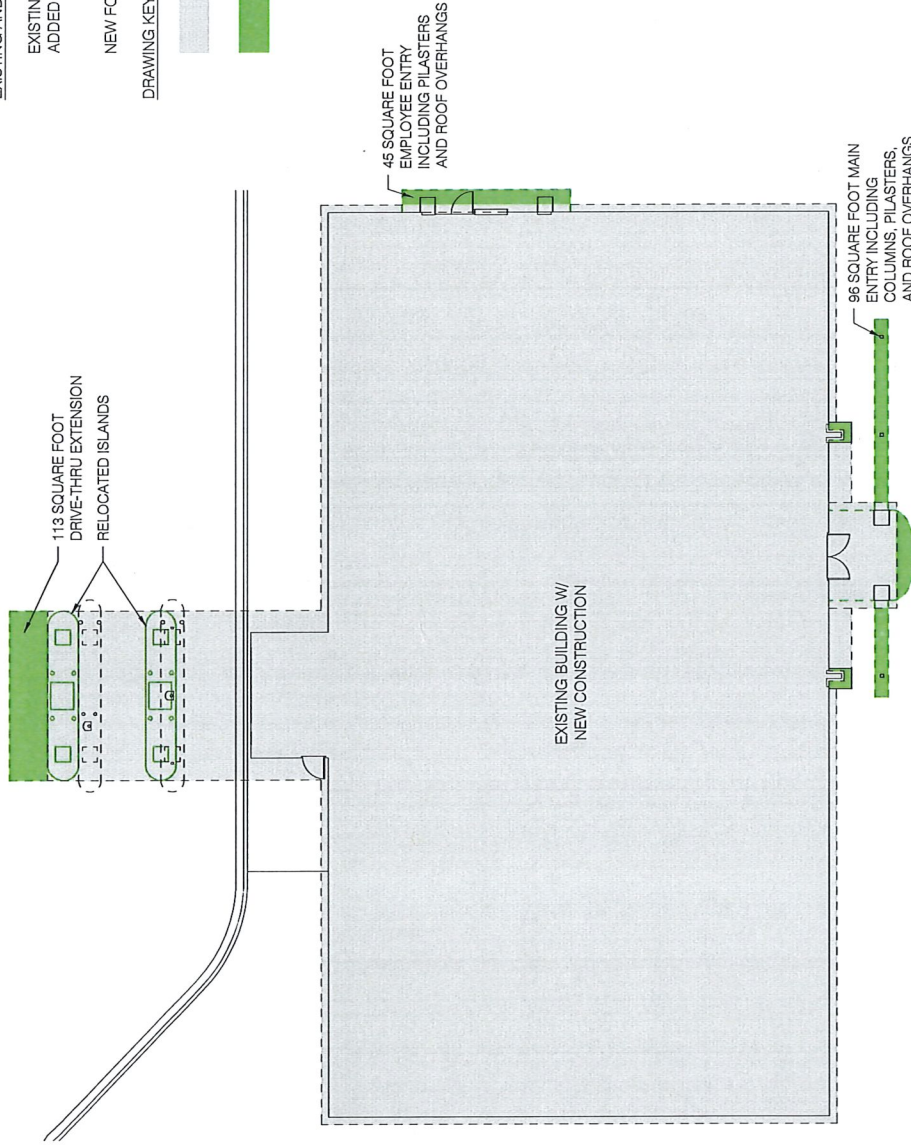
EXISTING FOOTPRINT TOTAL: 9,346 SF  
 ADDED FOOTPRINT: 254 SF  
 (2.72% INCREASE)

NEW FOOTPRINT TOTAL: 9,600 SF

### DRAWING KEY:

EXISTING FOOTPRINT (INCLUDING ROOF  
 OVERHANGS AND DRIVE-THRU CANOPY)

ADDED FOOTPRINT (INCLUDING NEW ENTRY  
 PILASTERS, OVERHANGS, AND DRIVE-THRU  
 EXTENSION)



**FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

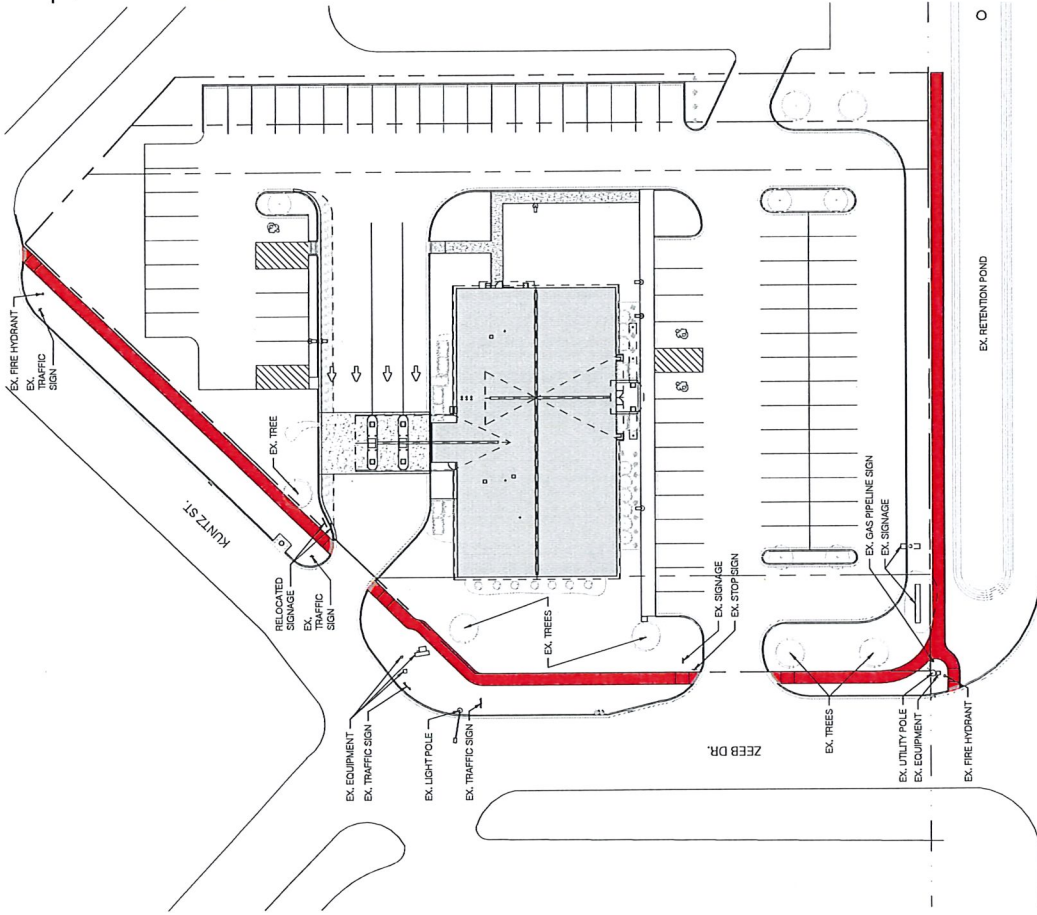
## Journey FCU Main Office Renovation

1200 ZEEB DR, ST JOHNS, MI 48879

K4 ARCHITECTURE, LLC  
 555 Gest Street  
 Cincinnati, Ohio 45203  
 Tel: (513) 455-5005  
 Fax: (513) 455-5008

FILE LOCATION: X:\2023 Projects\2023 K4 Architecture\23-2405 Journey FCU Main Office Renovation\Arch\Sketches  
 PLOT DATE: Sep 9, 2023 11:57 AM  
 FILENAME: 23-2405\_Plan Diagram for Sidewalk Argument.dwg  
 ISSUE DATE: 09/09/2023

ARCHITECTURE  
 + DESIGN



## DATA

### LINEAR FEET OF SIDEWALK REQUIRED:

PARALLEL TO OLD US 27: 258'-2"  
 PARALLEL TO ZEEB DR.: 175'-9"  
 PARALLEL TO KUNTZ ST.: 237'-7"

TOTAL REQUIRED: 671'-6"

### DRAWING KEY:

REQUIRED SIDEWALK



**SITE PLAN**  
 SCALE: 1" = 50'-0"

## Journey FCU Main Office Renovation

OLD US 27

1200 ZEEB DR, ST JOHNS, MI 48879



K4 ARCHITECTURE, LLC  
 555 East Street  
 Cincinnati, Ohio 45203  
 Tel: (513) 455-5005  
 Fax: (513) 455-5008

FILE LOCATION: X:\2023 Projects\2023 K4 Architecture\2023-2435 Journey FCU Main Office Renovation\Arch\Sketches

FILENAME: 23-2435\_Plan Diagram for Sidewalk Argument.dwg

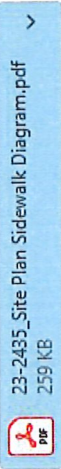
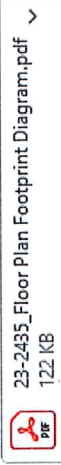
ISSUE DATE: 09/09/2023

PLOT DATE: Sep 8, 2023 11:56 AM

RE: Site Plan for SJ (Sidewalk)



Joe Toman <jtoman@k4architecture.com>  
To: Jeffrey Kusler  
Cc: William McSweeney



Start your reply all with:

Thank you!

Got it, thanks!

Received, thank you.

Feedback

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi Jeff,

In response to items 1 and 2 below, see the attached plan showing the existing building footprint including the roof overhangs, covered entrances and drive-thru canopy in grey and the new construction plus the added overhead construction at both entries and the drive-thru.

In response to item 3 below, see the attached site plan showing the proposed sidewalk in red along with all the existing site features that make installing the sidewalk difficult.

In response to item 4 below, the cost to install the new sidewalk is \$70,618.00 and the cost to build the new front entry, side entry and extend the drive thru canopy was approximately \$80,000.00.

Let me know if the information provided meets your request. If you need additional information, please let us know.

Sincerely,  
Joe



**JOE TOMAN**  
Project Manager/Project Architect | K4 Architecture + Design  
555 Gest Street | Cincinnati, OH 45203

[jtoman@k4architecture.com](mailto:jtoman@k4architecture.com)

[\(513\) 910-5289 \(Mobile\)](tel:(513)910-5289)

[\(513\) 842-5448 \(Direct\)](tel:(513)842-5448)



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Tue 9/9/2025 3:07 PM



MCKENNA

August 13, 2024

Joe Toman  
Journey Federal Credit Union  
1200 Zeeb Dr.  
St. Johns, MI 48879

**Subject: 1200 Zeeb Dr. Administrative Site Plan Review #2**

Dear Mr. Toman,

As requested, we have reviewed the revised site plan received for a remodeled entryway for the Journey Federal Credit Union located at 1200 Zeeb Drive. The applicant is proposing a covered, remodeled entryway for the existing building. The site is zoned O – Office District. The construction of an addition less than 1,000 square feet in size to any principal structure may be approved administratively.

Our comments on the application follow:

**1. Dimensional Requirements.** Below, we have analyzed the dimensional requirements for the lot.

Requirement Type	Ordinance Requirement (Office)	1200 Zeeb Dr. Proposed Conditions	Compliance
Minimum Lot Area	7,000 sq. ft.	~62,726 sq. ft.	Yes
Minimum Lot Width	75 feet	~190 feet	Yes
Front Yard Setback	10 feet	~45 feet	Yes
Side Yard Setback	10 feet per side	~32 feet on shortest side	Yes
Rear Yard Setback	35 feet	~80 feet	Yes
Maximum Lot Coverage	60%	~15%	Yes
Maximum Building Height	30 feet or 2.5 stories	28 feet, 11 inches	Yes

The proposed addition appears to meet all of the dimensional requirements for the Office District.

**2. Signage.** The applicant has provided a written statement that the proposed signage will not be included within this site plan approval and will be applied for at a later date.

**3. Parking, Loading, and Access.**

**1) Number of Spaces.** Section 155.342 of the St. Johns Code of Ordinances lists the parking requirement of banks, business, and professional offices uses as: “1 per 200 square feet of floor area.” As the existing building is approximately 9,583 square feet in floor area, a total of approximately 48 parking spaces. The existing property currently contains 75 parking spaces, which meets the minimum parking requirement.





- 2) **Barrier-Free Spaces.** The Federal Americans with Disabilities Act states that, for parking lots under 100 spaces, the required number of barrier-free spaces is 1 for every 25 spaces. There are 3 barrier-free spaces shown on the site plan, which complies with the requirements of the requirements of the Americans with Disabilities Act.
4. **Landscaping.** Some existing landscaping has been included in the revised site plan. Landscaping is required for a site plan review, as listed in Section 155.296.A, which states:

*“The requirements set forth in this subchapter shall apply to all lots, sites, and parcels which are developed or expanded following the effective date of this chapter that are subject to local site plan review. No site plan or land use shall be approved unless said site plan shall show landscaping consistent with the provisions of this subchapter.”*

However, Section 155.304 states:

*“In any case where the building and/or parking area is being increased by at least 25% over the originally approved site plan or the use is being changed to a more intense use, as determined by the City Commission, the site shall be brought into full compliance with the landscape standards herein. In situations where the increase in building and/or parking area is less than 25% over the original site plan, the requirement of new landscaping shall be equal to 4% of compliance for every 1% of increase in building or parking footprint. (example: a building or parking area increase of 10% requires a 40% compliance with the landscape standards.) If any development or principal use requiring a certificate of occupancy is destroyed by any means beyond 50% of the appraised replacement value, the site shall be brought into full compliance with the landscape standards herein.”*

The newly proposed entryway overhang is shown to be approximately 96 square feet in area, which is an approximately 1% addition to the 8,010 square feet of area within the existing structure. **This means a 4% compliance with the landscaping standards apply to the site instead of full compliance.**

- 1) **Minimum Buffer Zones.** Section 155.297 of the St. Johns Code of Ordinances requires plantings or a 6-foot wall/berm from all adjacent uses. Plantings shall consist of two trees, either canopy and/or deciduous, and four large shrubs per each 25 linear feet along the property line. Below, we have calculated the required number of plantings for each buffer zone.
- a. N. Bus. US-127 has a street frontage of approximately 246 feet. 2 trees and 4 shrubs per 25 feet of road frontage would equal approximately 20 trees and 40 shrubs along the lot line.
  - b. Zeeb Dr. has a street frontage of approximately 190 feet. 2 trees and 4 shrubs per 25 feet of road frontage would equal approximately 16 trees and 32 shrubs along the lot line.





- c. Kuntz St. has a street frontage of approximately 260 feet. 2 trees and 4 shrubs per 25 feet of road frontage would equal approximately 22 trees and 44 shrubs along the lot line.

With the reduction in compliance for pre-existing sites, the existing plantings located on the site are sufficient to meet the buffer zone requirements of the Zoning Ordinance.

- 2) **Parking Lot Landscaping.** Section 155.298 of the Code of Ordinances states that for any multiple-family, commercial, or industrial development exceeding 16 parking spaces, there shall be a minimum requirement of parking lot trees of 1 canopy tree per 8 spaces. With 75 existing spaces, the required number of parking lot trees is 10 canopy trees across all parking lot islands. Due to the reduction in compliance for pre-existing sites, the existing parking lot trees exceed the parking lot landscaping requirements for the site.
- 3) **Landscaping Around Principal Structures.** Section 155.302 of the St. Johns Code of Ordinances states that commercial principal structures must have 10% of the total ground floor area in landscaping surrounding the principal structure. Several shrubs are present on the existing site and, due to the reduction in compliance for pre-existing sites, these plantings will likely be sufficient to meet this requirement.
- 5. **Lighting.** No changes in lighting are shown in the site plan provided. The applicant has submitted a written statement that no changes to the exterior lighting of the building are proposed, therefore a photometric plan is not required.
- 6. **Trash Receptacles.** No alterations to the trash receptacles are proposed or required.
- 7. **Sidewalks.** The newly adopted Section 155.201 of the City of St. Johns Code of Ordinances states that sidewalks at least 5 feet in width must be constructed along the street frontage of every property whenever site plan approval is required. Under this provision, sidewalks are required to be constructed along the N. Bus. US-127, Zeeb Dr., and Kuntz St. road frontages. The applicant has demonstrated on the revised site plan that sidewalks are to be constructed along all three road frontages, which complies with this requirement.



## **DECISION**

At this time, the proposed site plan is **APPROVED**.

All conditions of Site Plan Approval have been met, and no further planning reviews are required. The Zoning Permit will be issued by Zoning Administrator Ken Skunda, and the applicant may proceed to the Clinton County Building Department for a Building Permit.

Please do not hesitate to contact us with any questions you may have.

Respectfully submitted,

**McKENNA**

Christopher Khorey, AICP  
Vice President

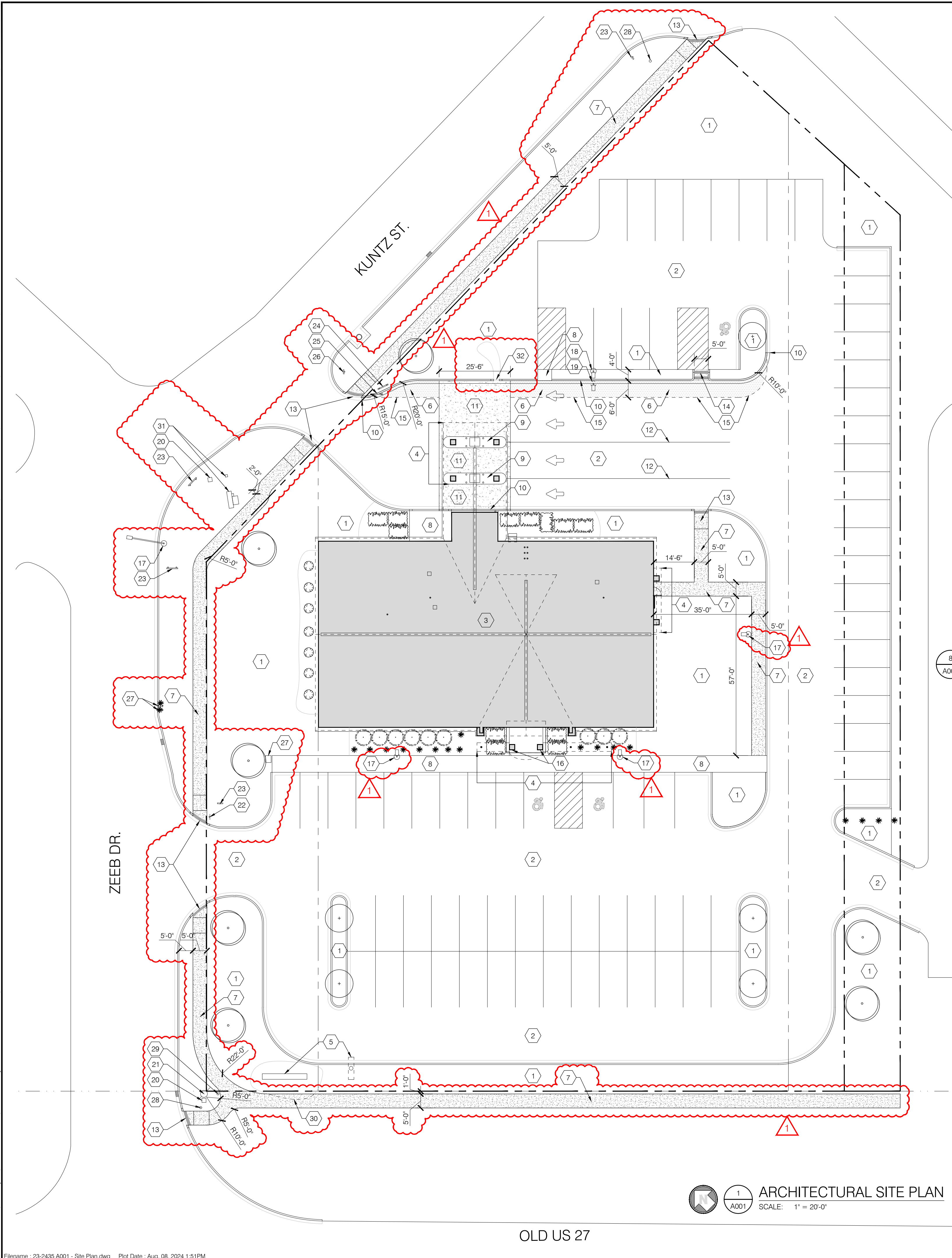
Ethan Walthorn,  
Assistant Planner



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Filename: 23-2435 A001 - Site Plan.dwg Plot Date: Aug. 08, 2024 1:51PM

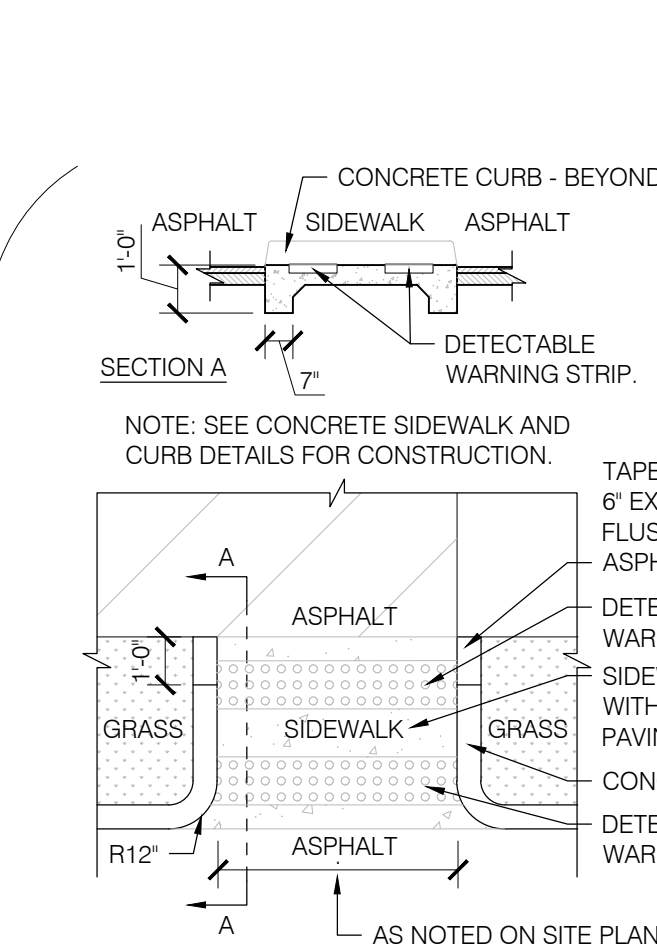


#### GENERAL NOTES:

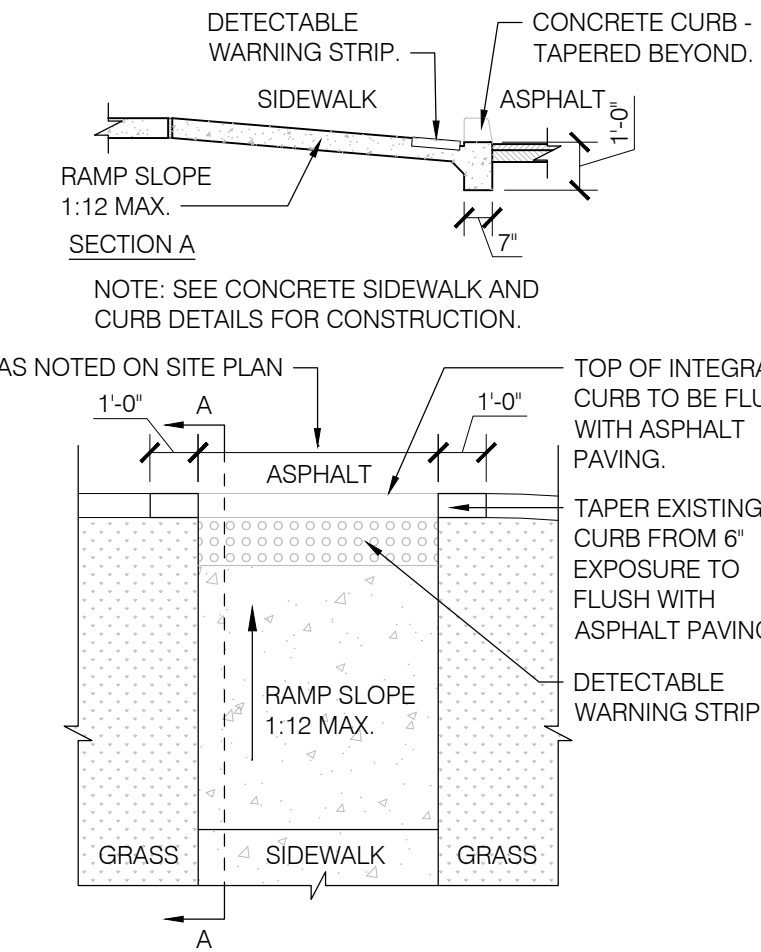
- REFER TO T001 ADDITIONAL GENERAL NOTES
- COORDINATE WORK WITH STRUCTURAL & MEP DRAWINGS.
- THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE CONTRACTOR SHALL TAKE CARE TO PROTECT ALL REMAINING CONSTRUCTION AND UTILITIES AND REPAIR ANY DAMAGE AS REQUIRED. THE CONTRACTOR SHALL CALL THE NATIONAL ONE CALL (811) 72 HOURS PRIOR TO PROCEEDING WITH EXCAVATION. ALL NEW SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- ALL RADI LABELS ON SITE PLAN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- COORDINATE WITH PHASING ON T002.

#### NOTES THIS DRAWING:

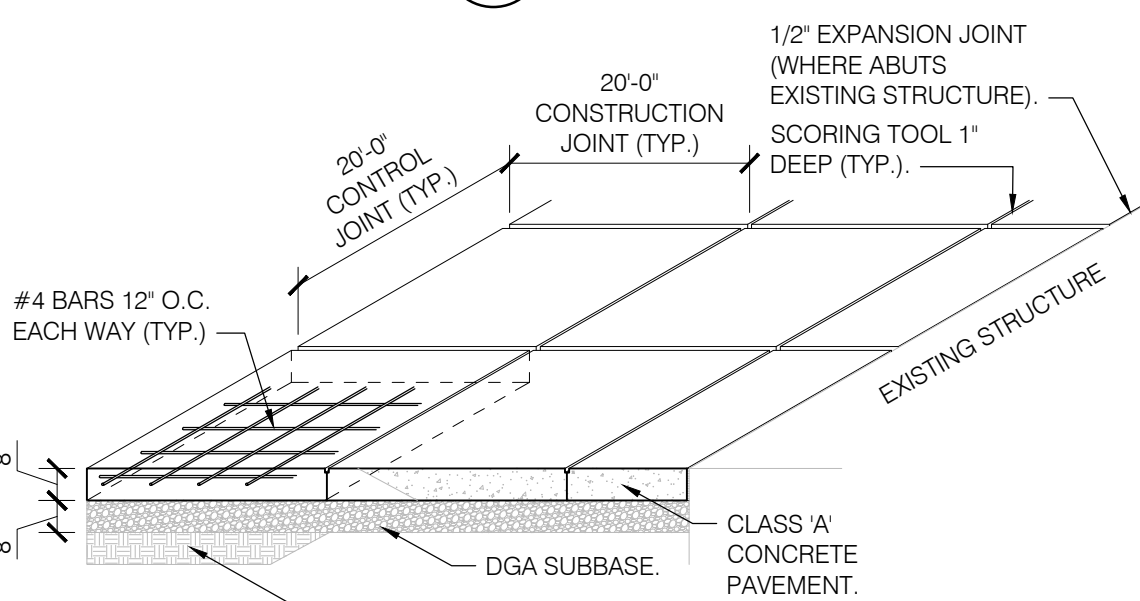
- EXISTING LAWN. SEED AND STRAW ALL DISTURBED AND NEW GRASS AREAS.
- EXISTING ASPHALT.
- EXISTING BUILDING TO BE RENOVATED.
- NEW CONSTRUCTION.
- EXISTING MONUMENT SIGN TO REMAIN.
- NEW ASPHALT PAVING. TIE IN WITH EXISTING ASPHALT PAVING. SLOPE TO MATCH EXISTING SITE DRAINAGE STRATEGY. SEE SITE DETAIL 4/A001.
- NEW CONCRETE SIDEWALK. SEE SITE DETAIL 2/A001.
- EXISTING CONCRETE SIDEWALK.
- REMOVE EXISTING CONCRETE ISLAND AND REPLACE WITH NEW CONCRETE ISLAND. SEE STRUCTURAL DRAWINGS.
- NEW CONCRETE CURB AND GUTTER. TIE IN WITH EXISTING CURB. SEE SITE DETAIL 3/A001.
- NEW CONCRETE PAVING. TIE IN WITH EXISTING ASPHALT PAVING. SLOPE TO MATCH EXISTING SITE DRAINAGE STRATEGY. SEE SITE DETAIL 5/A001.
- NEW PAVEMENT STRIPING TO ALIGN WITH NEW CONCRETE ISLAND LOCATIONS.
- NEW ACCESSIBLE PERPENDICULAR CURB RAMP. SEE SITE DETAIL 7/A001.
- NEW ACCESSIBLE PERPENDICULAR CUT THROUGH AT ISLAND. SEE SITE DETAIL 8/A001.
- DASHED LINE INDICATING: REMOVE EXISTING CONCRETE CURB AND GUTTER AS REQUIRED TO WIDEN DRIVE-THRU BYPASS LANE.
- ROOF DRAIN LEADERS IN COLUMNS TO BE TIED INTO EXISTING UNDERGROUND STORM AT BUILDING PERIMETER.
- EXISTING LIGHT POLE TO REMAIN.
- RELOCATED LIGHT POLE.
- REMOVE AND RELOCATE LIGHT POLE.
- EXISTING VALVE COVER TO REMAIN.
- EXISTING POWER POLE TO REMAIN.
- EXISTING STOP SIGN TO REMAIN.
- EXISTING DIRECTIONAL SIGN TO REMAIN.
- RELOCATED ONE-WAY DIRECTIONAL SIGN.
- REMOVE AND RELOCATE ONE-WAY DIRECTIONAL SIGN.
- EXISTING NO-PARKING SIGN TO REMAIN.
- EXISTING MAILBOX TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING GAS PIPELINE SIGN TO REMAIN.
- REMOVE PORTION OF GRAVEL BED AS REQUIRED FOR NEW CONCRETE SIDEWALK.
- EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
- NEW CURB OUTLET FOR SURFACE RUN-OFF TO CONNECT TO EXISTING CATCH BASIN.



8  
A001  
ACCESSIBLE CUT THROUGH AT ISLAND  
SCALE: 1/4"=1'-0"

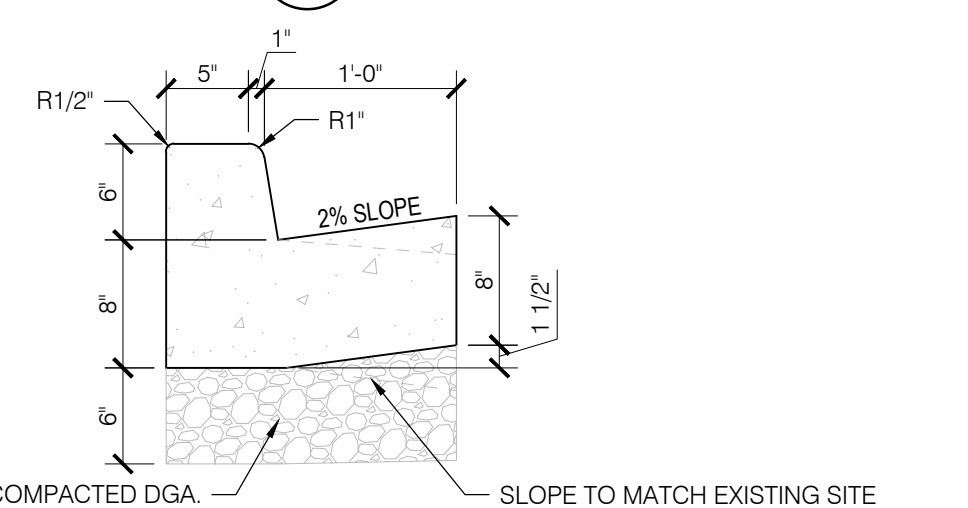


7  
A001  
ACCESSIBLE CURB RAMP  
SCALE: 1/4"=1'-0"



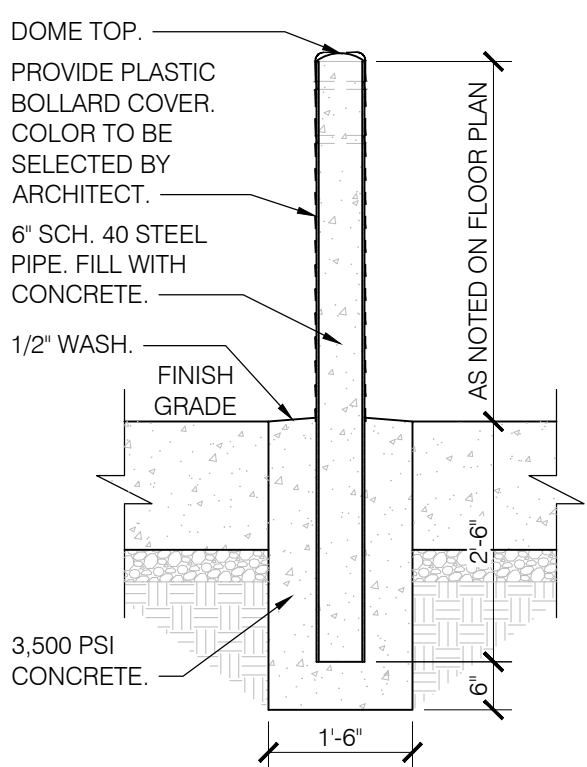
- NOTES:
- DGA SHOULD BE COMPACTED A MIN. OF 98% OF THE MAX. STANDARD PROCTOR DRY DENSITY AS PER ASTM D-698 OR A MIN. OF 85% RELATIVE DENSITY AS PER ASTM D4253 AND D4254.
  - SUBGRADE MATERIAL SHALL BE COMPACTED TO 98% OF THE MAX. STANDARD PROCTOR DRY DENSITY AS PER ASTM D-698. MOISTURE CONTENT SHALL BE WITHIN 3% OF OPTIMUM.

5  
A001  
CONCRETE PAVEMENT  
SCALE: N.T.S.

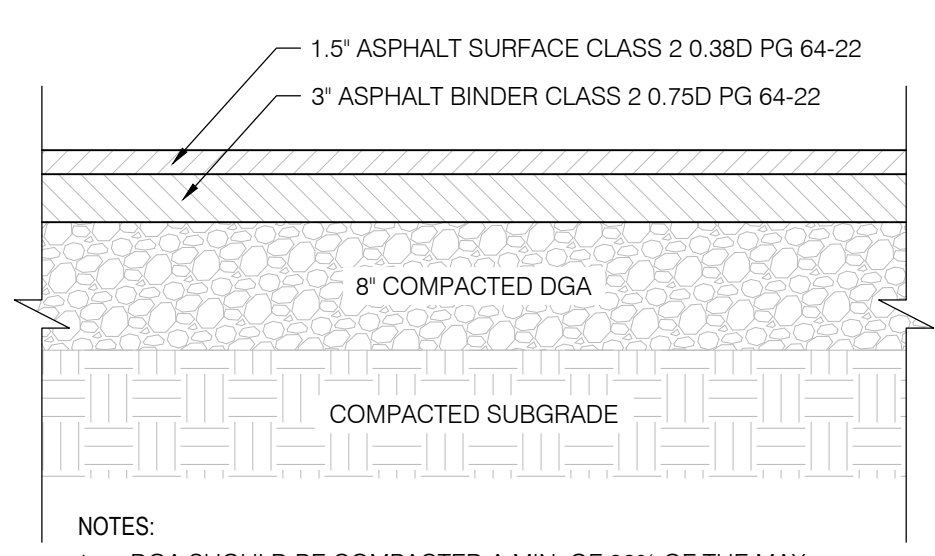


- NOTES:
- CONCRETE SHALL BE 4,000 PSI.
  - PROVIDE 'FORTA FERRO' FIBER REINFORCEMENT AT A RATE OF 4 LBS. PER CUBIC YARD OF CONCRETE.
  - PROVIDE 1" DEEP, TOOLED CONTROL JOINTS AT 5'-0" O.C. IN CURB.
  - PROVIDE 1/4" EXPANSION JOINT CONTINUOUS WHERE CURB ABUTS EXISTING OR PROPOSED CONCRETE OR STORM STRUCTURES.
  - DGA SHOULD BE COMPACTED A MIN. OF 98% OF THE MAX. STANDARD PROCTOR DRY DENSITY AS PER ASTM D-698 OR A MIN. OF 85% RELATIVE DENSITY AS PER ASTM D4253 AND D4254.

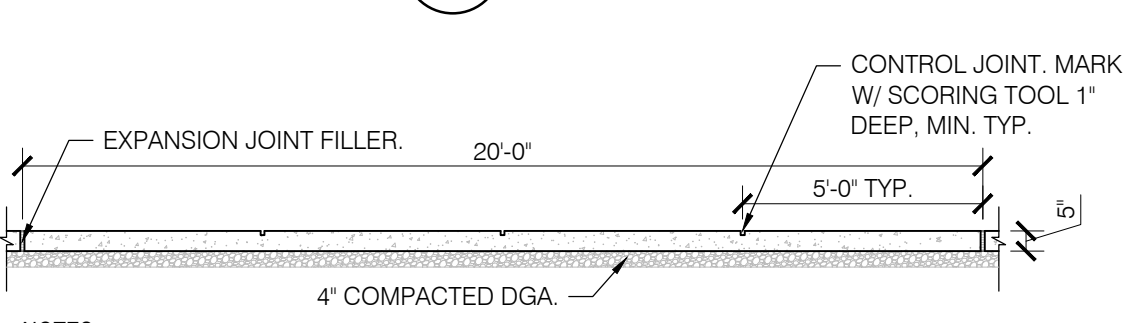
3  
A001  
CONCRETE CURB AND GUTTER  
SCALE: 1"=1'-0"



6  
A001  
BOLLARD  
SCALE: 1/2"=1'-0"



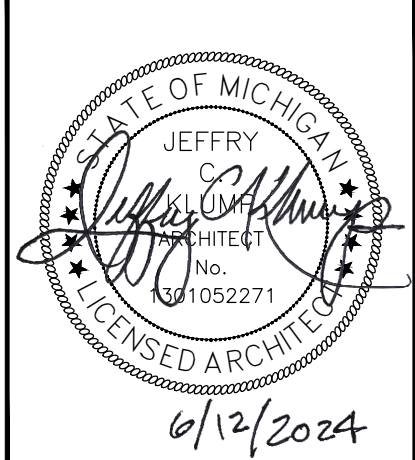
4  
A001  
ASPHALT PAVEMENT  
SCALE: 1"=1'-0"



- NOTES:
- CONCRETE SHALL BE 3,500 PSI.
  - PROVIDE 'FORTA FERRO' FIBER REINFORCEMENT AT A RATE OF 1.5 LBS. PER CUBIC YARD OF CONCRETE.
  - PROVIDE 1/2" EXPANSION JOINT WITH PRE-MOULDED FILLER STRIP AT 20'-0" MAX SPACING IN WALK.
  - PROVIDE 1" DEEP, TOOLED CONTROL JOINTS AT 5'-0" O.C. IN WALK.
  - PROVIDE EXPANSION JOINT CONTINUOUS WHERE WALK ABUTS CONCRETE STRUCTURES.
  - PROVIDE EDGE EXPANSION JOINT AT DOOR LOCATIONS AND EDGE OF BUILDING.
  - SIDEWALK CROSS SLOPE 1% MIN. AND 2% MAX. FOR ALL SIDEWALKS.
  - DGA SHOULD BE COMPACTED A MINIMUM OF 98% OF THE MAXIMUM STANDARD PROCTOR DRY DENSITY AS PER ASTM D-698 OR A MIN. OF 85% RELATIVE DENSITY AS PER ASTM D4253 AND D4254.
  - SIDEWALK BROOM FINISH: AFTER THE CONCRETE HAS BEEN PLACED, THE SURFACE SHALL BE BROUGHT TO THE ESTABLISHED GRADE WITH A STRAIGHT EDGE AND BULL FLOATED TO 'SMOOTH OUT' THE SURFACE. WHEN THE WATER SHEEN HAS DISAPPEARED, SURFACE SHALL BE FLOATED WITH POWER AND/OR WOOD FLOATS, AND SURFACE SHALL BE BROOMED WITH FINE HAIR BROOM PERPENDICULAR TO LINE OF TRAFFIC TO ACHIEVE A SURFACE TEXTURE TO BE APPROVED BY ARCHITECT.

2  
A001  
CONCRETE SIDEWALK  
SCALE: 1/4"=1'-0"

**K4**  
ARCHITECTURE  
+ DESIGN  
555 Gest Street  
Cincinnati, Ohio 45203  
Tel: (513) 455-5000  
Fax: (513) 455-5008  
Webpage: www.k4architecture.com  
Email: info@k4architecture.com



EXTERIOR & INTERIOR ALTERATION FOR:



REVISIONS / SUBMISSIONS		
NO.	DESCRIPTION	DATE
1	CONSTRUCTION	05/24/24
1	ZONING REVISION	08/08/24

ARCHITECTURAL  
SITE PLAN

Drawn By: JT, BB  
Scale: AS NOTED  
Job No.: 23-2435

A001





**MCKENNA**

September 29, 2025

Planning Commission  
City of St. Johns  
100 E. State St.  
St. Johns, MI 48879

**Subject: Sidewalk Waiver Application – 1200 Zeeb Dr.**

Dear Commission Members,

We have reviewed the Sidewalk Waiver application, noted above, for 1200 Zeeb Drive, Parcel #300-009-200-012-01. The applicant was approved in 2024 for a small addition to the existing structure (96 square feet of enclosed space, plus some expanded roof lines and signage). The proposed remodeled entryway and signage required Administrative Site Plan Approval, which was granted on August 13, 2024.

The parcel lies within the O – Office District. Section 155.201.A of the Zoning Ordinance states that sidewalks are required whenever Site Plan approval of any type is required. At the time, the applicant included the required sidewalks in their Site Plan submission.

The applicant has requested a waiver from installing the required sidewalk on three sides of the property. Section 155.201.B allows the Planning Commission to waive the required sidewalk if the four listed conditions are met.

Our comments regarding the Sidewalk Waiver application and the four conditions are as follows.

#### **WAIVER CRITERIA**

The Planning Commission may waive the requirements of Subsection A based on the following criteria:

- 1. There is a legal, physical, or environmental impediment that makes the construction of a sidewalk meeting the City's design standards impossible, in the opinion of the Planning Commission.** *The applicant points out that there are some physical impediments, such as utility poles, drainage ditches, hydrants, an electrical cabinet, signage, and trees. However, the 2024 site plan showed sidewalk where required and did not note any of those impediments. The applicant, per their application letter, has not explored the potential impediments in detail.*
- 2. The granting of the waiver would not be detrimental to the public health, safety, or general welfare and would not create a precedent which would prevent the enforcement of the ordinance for similar conditions or situations in the area in which the property is located.** *The granting of the waiver would not necessarily be detrimental to public health. However, granting the waiver could create a precedent that would make future enforcement of the sidewalk requirement difficult. The applicant contends that the sidewalk should not be required because there are no sidewalks on the neighboring properties and because the proportion of sidewalk required compared to the addition to the building is out of balance. This reasoning could be applied to a high percentage of situations where sidewalk is required under Section 155.201. If the*



*Planning Commission chooses to grant this waiver, it could result in waiver requests becoming very common and hard to reject.*

3. A waiver not limited by a specific duration shall be deemed unspecified in length, but shall not be considered a permanent waiver of sidewalk requirements nor revoke in any way the right of the City to order, install, or assess for sidewalks in accordance with other sections of the Code of Ordinances upon a determination that conditions are necessary for the construction of sidewalk in accordance with public need, health, safety, and general welfare. *The Planning Commission may grant a temporary waiver to defer the installation of a sidewalk at a later date, if desired. However, such action is risky, because of the possibility of future turnover at the City and the institutional memory of the delayed installation being lost, and therefore the sidewalk requirement is never implemented.*
4. In permitting a waiver, conditions of approval may be imposed that are necessary to meet the intent of this subsection or to preserve the public health, safety, and general welfare. *Should the Planning Commission find it appropriate, the Commissioners may grant the waiver for only part of the site (such as Old 127, where the need for pedestrian infrastructure is greatest) to reduce the proportion of the lot that needs to comply. Additionally, the Commissioners may grant a deferred installation agreement, but as mentioned above, this course of action is risky.*

#### **RECOMMENDATION**

Based on the stated criteria in Section 155.201, the application does not meet the threshold to be approved for a full waiver.

If the Planning Commission finds the applicant's point about the proportionality of the sidewalk requirement to be credible, then we recommend the Planning Commission also discuss amending the Section 155.201 to increase the threshold for when sidewalk is required. Exempting Administrative Site Plan Approvals would be one option. However, as written, the proportionality of the sidewalk requirement to the proposed site improvements is not a criteria for approval.

The Planning Commission could consider granting a one-year delay in the sidewalk requirement and a full waiver conditioned on the Ordinance being amended such that the sidewalk requirement no longer applies to Journey Credit Union's application.

The Planning Commission may also consider granting a partial waiver, if desired. Options for a partial waiver include:

- Only requiring sidewalk along Old 127, where the need for pedestrian infrastructure is greatest due to safety concerns.
- Requiring the applicant to provide a more detailed report on physical impediments, then granting a waiver from the sidewalk that are most impacted by other existing elements of the right-of-way and road frontages.

Please let us know if you have any questions.



Respectfully submitted,  
**McKENNA**

Christopher Khorey, AICP  
Vice President

Ethan Walthorn,  
Assistant Planner